



CITY OF MISSION ROOF REPLACEMENT FOR SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM

RFP: 20-074-12-09

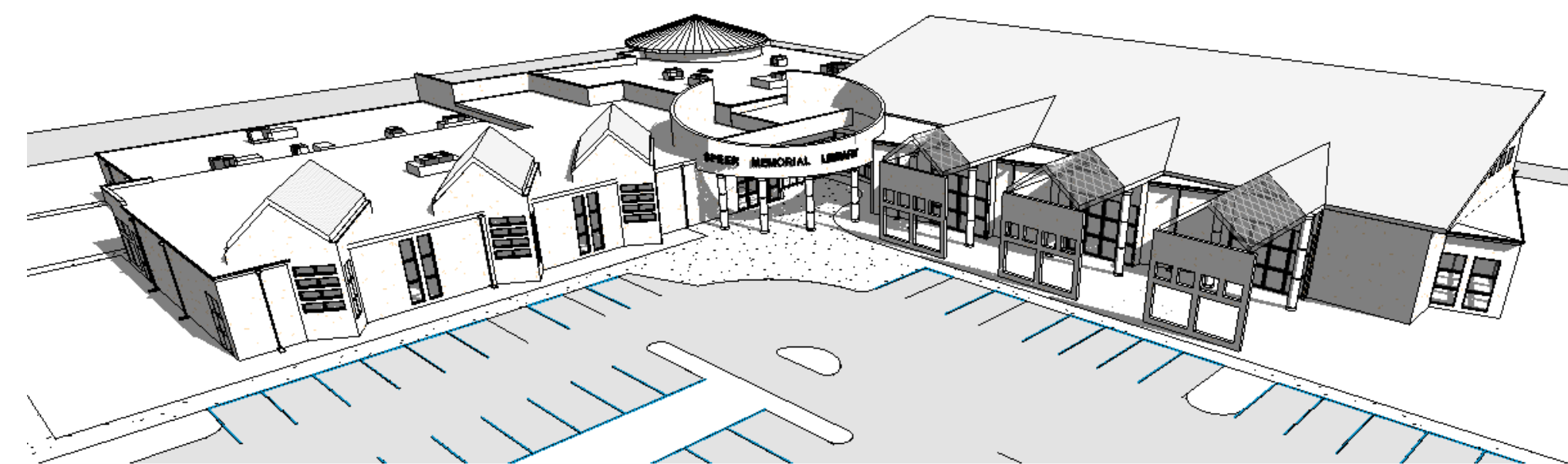
CITY COMMISSION

JESSICA ORTEGA-OCHOA
RUBEN PLATA
NORIE GONZALEZ GARZA
JOSE ALBERTO "BETO" VELA

COUNCIL, PLACE 1
COUNCIL, PLACE 2
COUNCIL, PLACE 3 MAYOR PRO-TEM
COUNCIL, PLACE 4

DR. ARMANDO O'CAÑA
RANDY PEREZ

MAYOR
CITY MANAGER



SPEER MEMORIAL LIBRARY
BASE BID - PHASE I

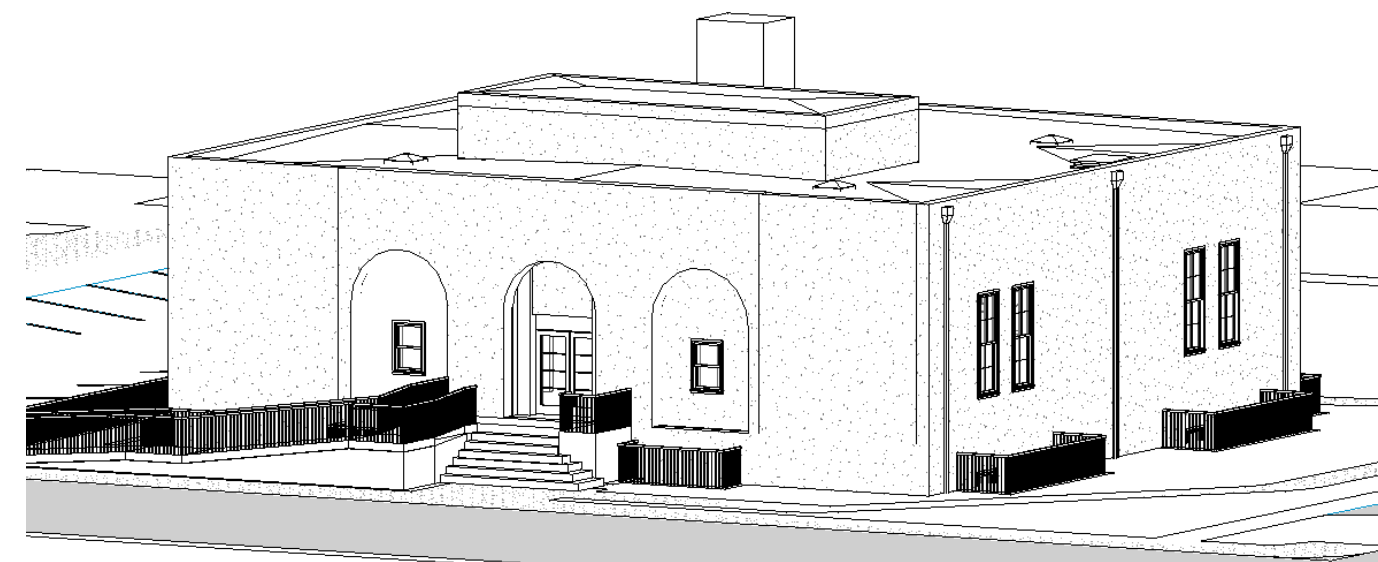
ALTERNATE No 1 (AT LIBRARY PHASE 1 ONLY)

801 E 12TH ST, MISSION, TEXAS 78572



MISSION HISTORICAL MUSEUM
BASE BID - PHASE II

900 DOHERTY AVE, MISSION, TEXAS 78572



MISSION HISTORICAL MUSEUM "THE ANNEX"
BASE BID - PHASE III

900 DOHERTY AVE, MISSION, TEXAS 78572

PROJECT INFORMATION

LOCATION: PHASE I: SPEER MEMORIAL LIBRARY
801 E. 12TH ST. MISSION, TX.

PHASE II & III: MISSION HISTORICAL MUSEUM & ANNEX
900 DOHERTY AVE. MISSION, TX.

ARCHITECT: ARKIIFORM LLC, 1320 W NOLANA AVE., McALLEN, TX.

ENGINEER: HINOJOSA ENGINEERING, INC. 108 W 18TH ST. MISSION, TX

PROJECT DISCRPTION:

ROOF REPLACEMENT AT CITY OF MISSION SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM

APPLICABLE CODES:
PHASE I: SPEER MEMORIAL LIBRARY ROOF RENOVATIONS
801 E 12th ST, MISSION, TX 78572

2012 - INTERNATIONAL BUILDING CODE
2012 - INTERNATIONAL ENERGY CODE

BUILDING OVERALL ROOF AREA:
TOTAL SF 31,580 SF

APPLICABLE CODES:
PHASE II: MISSION HISTORICAL MUSEUM ROOF RENOVATIONS
900 DOHERTY AVE, MISSION, TX 78572

2012 - INTERNATIONAL BUILDING CODE
2012 - INTERNATIONAL ENERGY CODE

BUILDING OVERALL ROOF AREA:
MUSEUM BUILDING "A" 3,750 SF

APPLICABLE CODES:
PHASE III: ANNEX BUILDING ROOF RENOVATIONS
900 DOHERTY AVE, MISSION, TX 78572

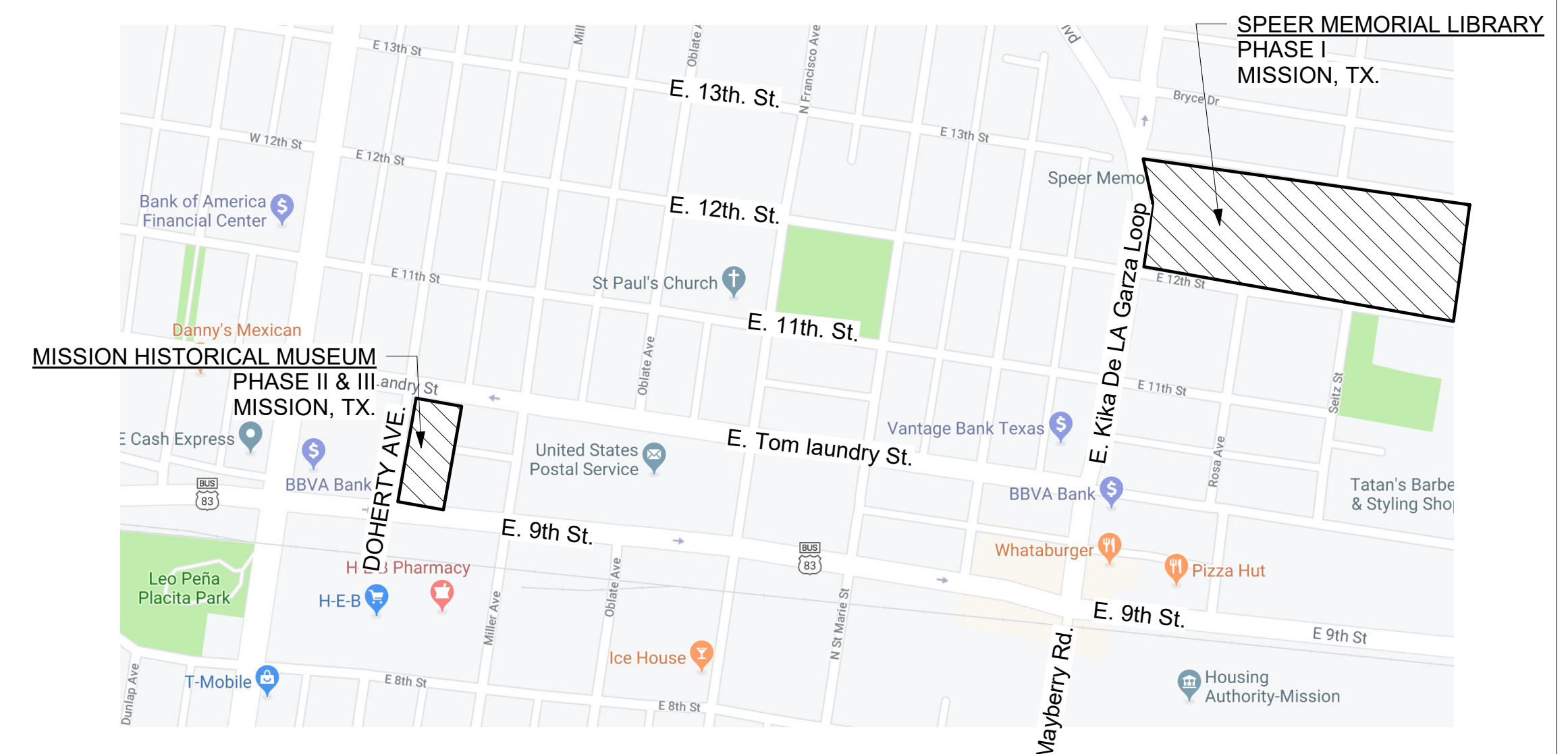
2012 - INTERNATIONAL BUILDING CODE
2012 - INTERNATIONAL ENERGY CODE

BUILDING OVERALL ROOF AREA:
MUSEUM BUILDING "B" 4,721 SF

SHEET INDEX

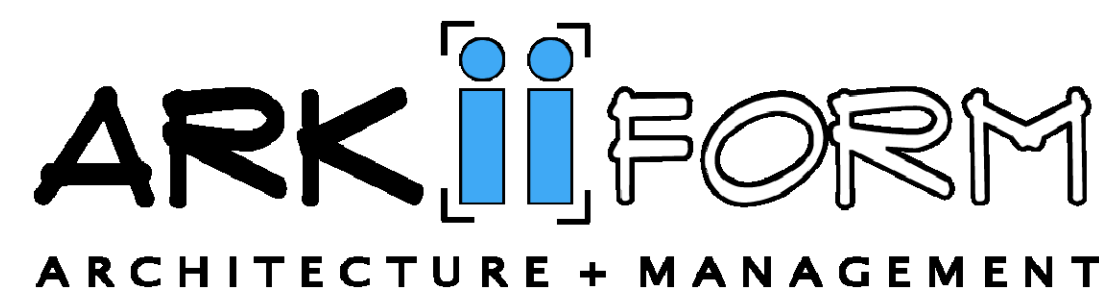
- GENERAL
- G0.0 COVER
- DEMOLITION (PHASE I)
- D1.0 DEMO ROOF PLAN (PHASE I)
- D1.1 EXISTING CONDITIONS (PHASE I)
- STRUCTURAL (PHASE I)
- S1.1 STRUCTURAL GENERAL NOTES
- S2.1 STRUCTURAL FRAMING PLAN
- SD1.1 STRUCTURAL DETAILS
- SD1.2 STRUCTURAL DETAILS
- ARCHITECTURAL (PHASE I)
- A1.0 OVERALL SITE & ROOF PLAN (PHASE I)
- A1.1 NEW ROOF PLAN (PHASE I)
- A1.2 EXTERIOR ELEVATIONS (PHASE I)
- A1.3 ROOF DETAILS (PHASE I)
- A1.4 ALTERNATIVE 1 - ROOF PLAN AND ELEVATIONS
- A1.5 ALTERNATIVE 1 - WALL SECTION AND DETAILS
- DEMOLITION (PHASE II & PHASE III)
- D2.0 DEMOLITION PLAN - BUILDING "A" (PHASE II)
- D2.1 DEMOLITION PLAN - BUILDING "B" (PHASE III)
- D2.2 EXISTING CONDITIONS - BUILDING "A" (PHASE II)
- D2.3 EXISTING CONDITIONS - BUILDING "B" (PHASE III)
- ARCHITECTURAL (PHASE II & PHASE III)
- A2.0 OVERALL EXISTING SITE
- A2.1 NEW ROOF PLAN - BUILDING "A" (PHASE II)
- A2.2 NEW ROOF PLAN - BUILDING "B" (PHASE III)
- A2.3 EXTERIOR ELEVATIONS - BUILDING "A" (PHASE II)
- A2.4 EXTERIOR ELEVATIONS - BUILDING "B" (PHASE III)
- A3.0 ROOF DETAILS (PHASE II & III)
- A3.1 ROOF DETAILS (PHASE II & III)

LOCATION MAP:



DESIGN TEAM:

ARCHITECT:



1320 W. NOLANA AVE.
McAllen TX, 78504

956.239.2438 956.221.2400
arkiiform@arkiiform.com
www.arkiiform.com

STRUCTURAL ENGINEER:



HINOJOSA ENGINEERING, INC.
STRUCTURAL ENGINEERING
CIVIL ENGINEERING
108 W. 18TH ST. MISSION, TEXAS
(956) 581-0143 FAX: (956) 581-2071
E-MAIL: HinojosaEngInc@aol.com
REGISTRATION NUMBER F908 EXPIRATION DATE 09/30/2019

108 W 18TH STREET
MISSION, TX 78572
956.581.0143

ARKIIFORM
ARCHITECTURE + MANAGEMENT
810 N Alton Blvd, Alton, Texas 78573
1320 W Nolana, McAllen, Texas 78501
956.239.2438 956.221.2400
www.arkiiform.com arkiiform@arkiiform.com

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10/16/19
Jose C. Garza

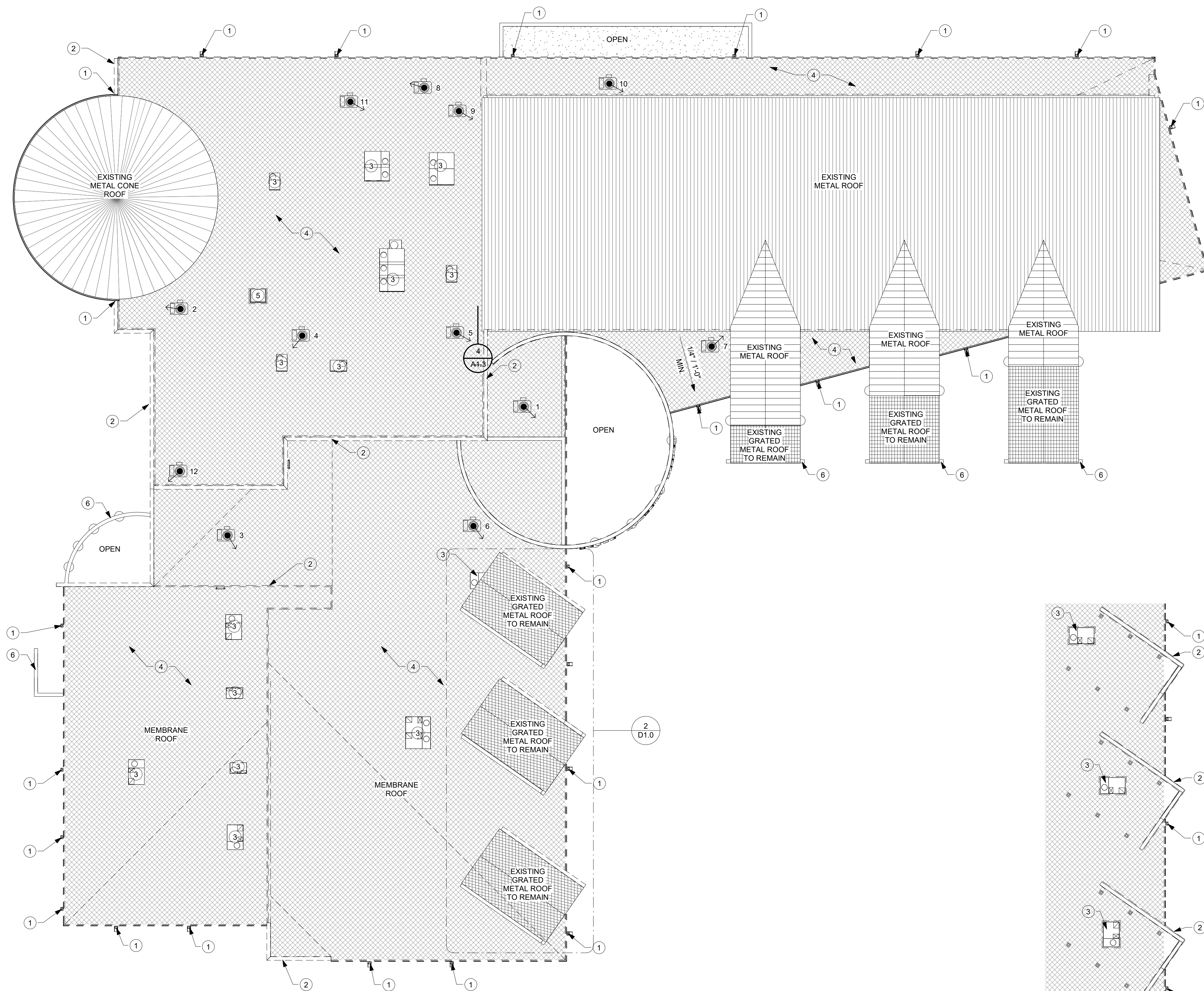
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REVISION:

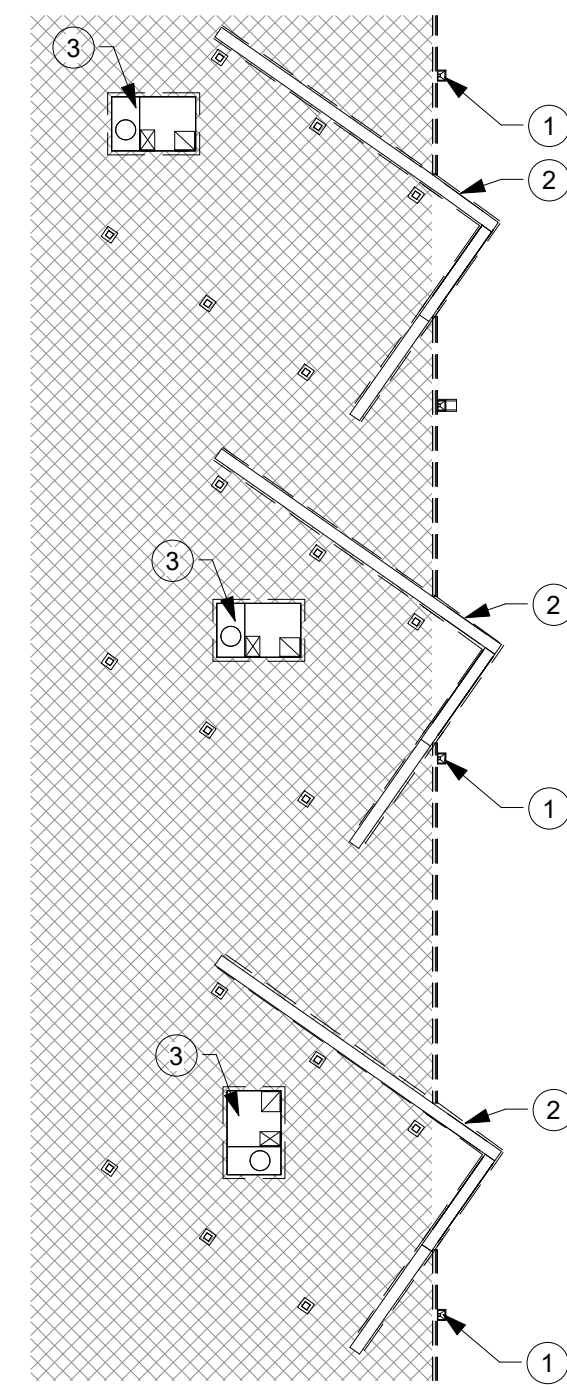
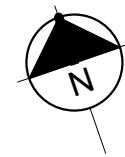
DRAWN BY: HM
CHECKED BY: CG3
DATE: 10-16-19

COVER

GO.0



1 DEMO ROOF PLAN
1/16" = 1'-0"



2 DEMROOF PLAN UNDER METAL STRUCTURE
1/16" = 1'-0"

DEMOLITION GENERAL NOTES

1. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS
2. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION. THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED
3. STURCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERETO
4. STURCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE METELS WITH 8" BEARING AS A MINIMUM. REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
5. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED
6. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE
7. PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY. PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS. REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
8. BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER
9. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK. PROVISION & CONTROL OF ALL MEANS & METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS, INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY
10. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK
11. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERRUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

DEMOLITION KEYNOTES

- 1 DEMOLISH & REMOVE EXISTING GUTTER SYSTEM AND DOWNSPOUT. PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
- 2 DEMOLISH & REMOVE METAL COPING AT ALL PARAPETS. DEMOLISH TO EXISTING WOOD BLOCKING. PATCH REPAIR BLOCKING FOR NEW METAL COPING INSTALLATION.
- 3 EXISTING MECHANICAL EQUIPMENT TO REMAIN. EXISTING ROOFING CURB TO CONSTRUCTION TO REMAIN. ROOF CURB TO BE PREPARED FOR NEW ROOFING AS PER MANUFACTURER DETAILING
- 4 DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- 5 DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALATION OF NEW ACCESS HATCH.
- 6 PREPARE TOP OF WLL SURFACE TO RECIEVE METAL WALL CAP.

DEMOLITION LEGEND

- METAL ROOFS TO REMAIN
- MEMBRANE TO BE DEMOLISHED DOWN TO DECK. PATCH REPAIR EXISTING DECK AND STRUCTURE AS REQUIRED
- ITEM TO BE DEMOLISHED AND REMOVED
- EXISTING. NO SCOPE. CONTRACTOR TO PROTECT DURING CONSTRUCTION. PATCH/REPAIR TO EXISTING CONDITION AS REQUIRED
- EXISTING CONDITIONS PHOTOGRAPH LOCATION. REFER TO SHEET D1.1



10/16/19
[Signature]

**ROOF REPLACEMENT FOR
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REVISION:

DRAWN BY: HM
CHECKED BY: CG3
DATE: 10-16-19

**DEMO
ROOF
PLAN
(PHASE I)**

D1.0



EXISTING PHOTO 1



EXISTING PHOTO 2



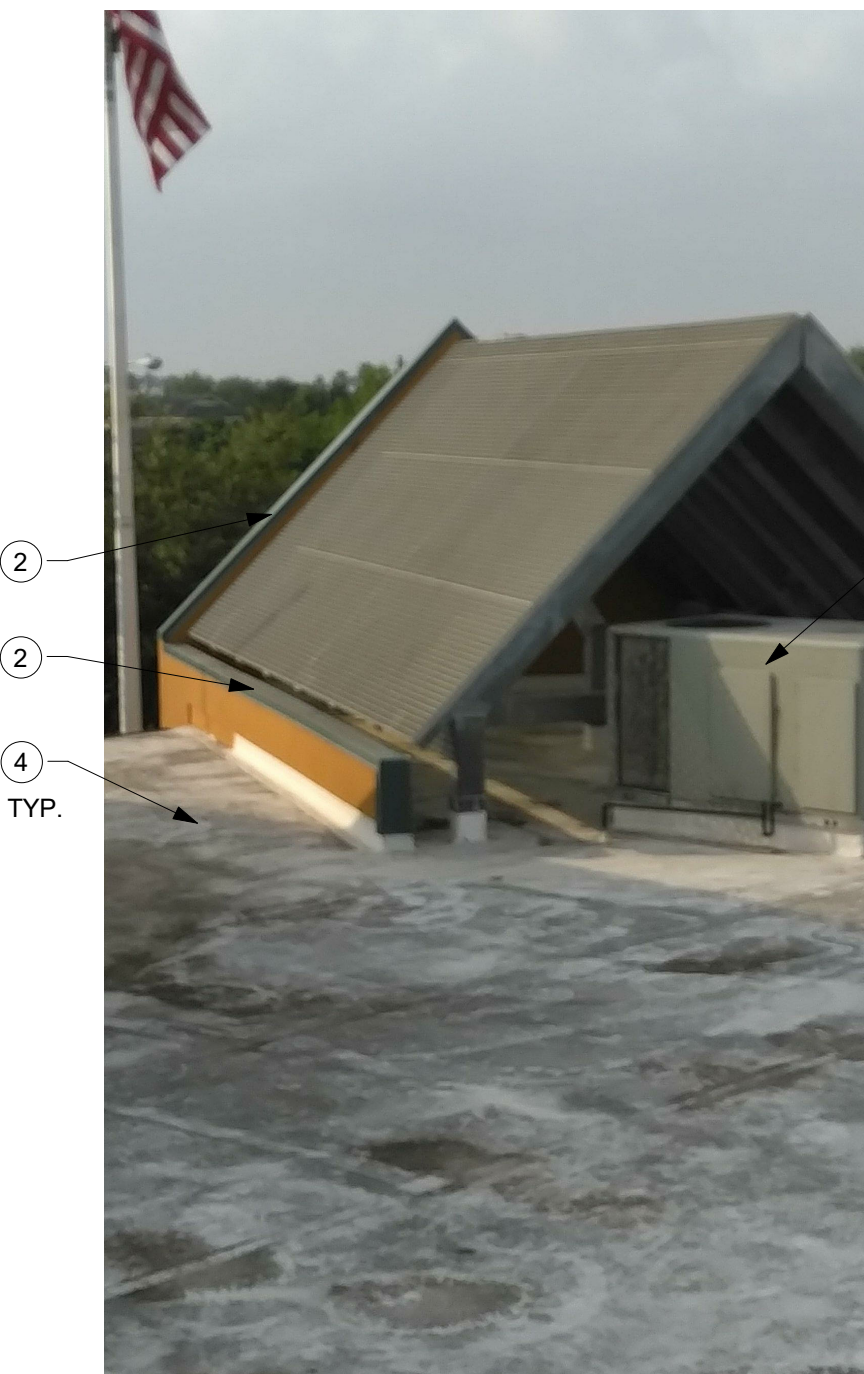
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EXISTING PHOTO 4



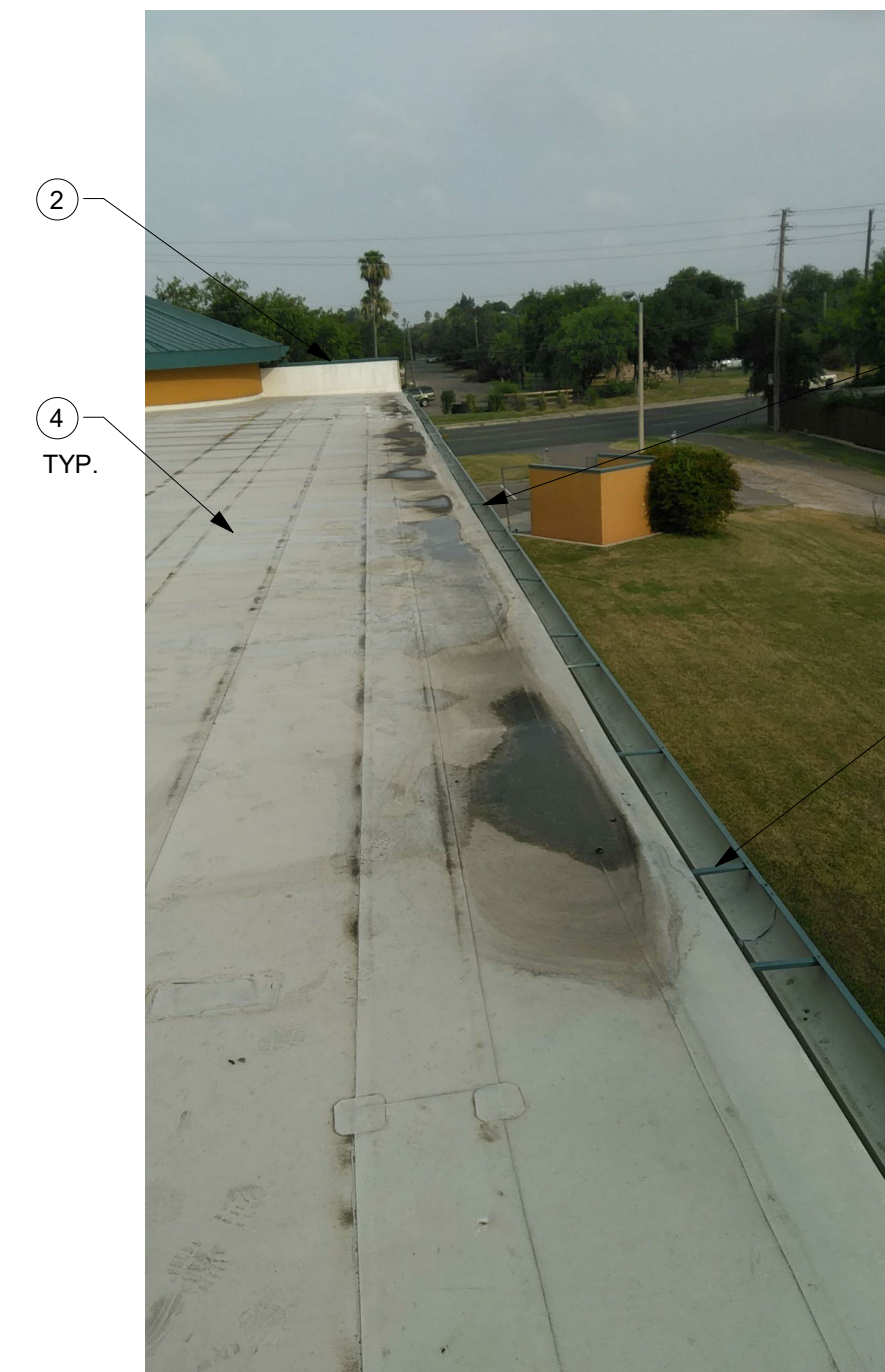
EXISTING PHOTO 5



EXISTING PHOTO 6



EXISTING PHOTO 7



EXISTING PHOTO 8



EXISTING PHOTO 9



EXISTING PHOTO 10



EXISTING PHOTO 11



EXISTING PHOTO 12

GENERAL NOTES:

1. ALL PHOTOGRAPHS SHOWN ARE EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION.
2. REFER TO SHEET D1.0 FOR DEMOLITION DETAILS AND NOTES IN ACCORDANCE TO THESE PHOTOGRAPHS. LOCATION OF PHOTOS ARE SHOWN AS TYPICAL ON DEMOLITION PLAN. [Symbol] X
3. REFER TO SHEET A1.1 FOR NEW ROOF CONFIGURATIONS AND NOTES.
4. THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT INJURY OR DAMAGE TO ALL OTHER STRUCTURES NOT IN SCOPE. THE CONTRACTOR SHALL REBUILD, REPAIR OR RESTORE AT HIS OWN EXPENSE. ALL INJURIES OR DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS COMPLETION AND ACCEPTANCE.

DEMOLITION KEYNOTES

1. DEMOLISH & REMOVE EXISTING GUTTER SYSTEM AND DOWNSPOUT. PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
2. DEMOLISH & REMOVE METAL COPING AT ALL PARAPETS. DEMOLISH TO EXISTING WOOD BLOCKING. PATCH REPAIR BLOCKING FOR NEW METAL COPING INSTALLATION.
3. EXISTING MECHANICAL EQUIPMENT TO REMAIN. EXISTING ROOFING CURB TO CONSTRUCTION TO REMAIN. ROOF CURB TO BE PREPARED FOR NEW ROOFING AS PER MANUFACTURER DETAILING
4. DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
5. DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALLATION OF NEW ACCESS HATCH.
6. PREPARE TOP OF WALL SURFACE TO RECEIVE METAL WALL CAP.



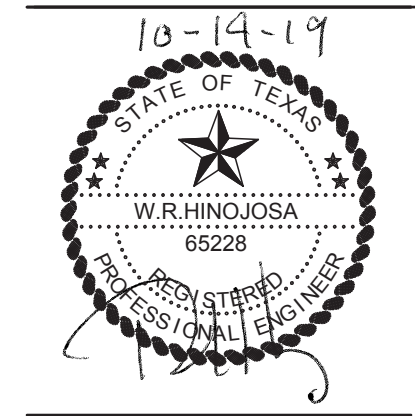
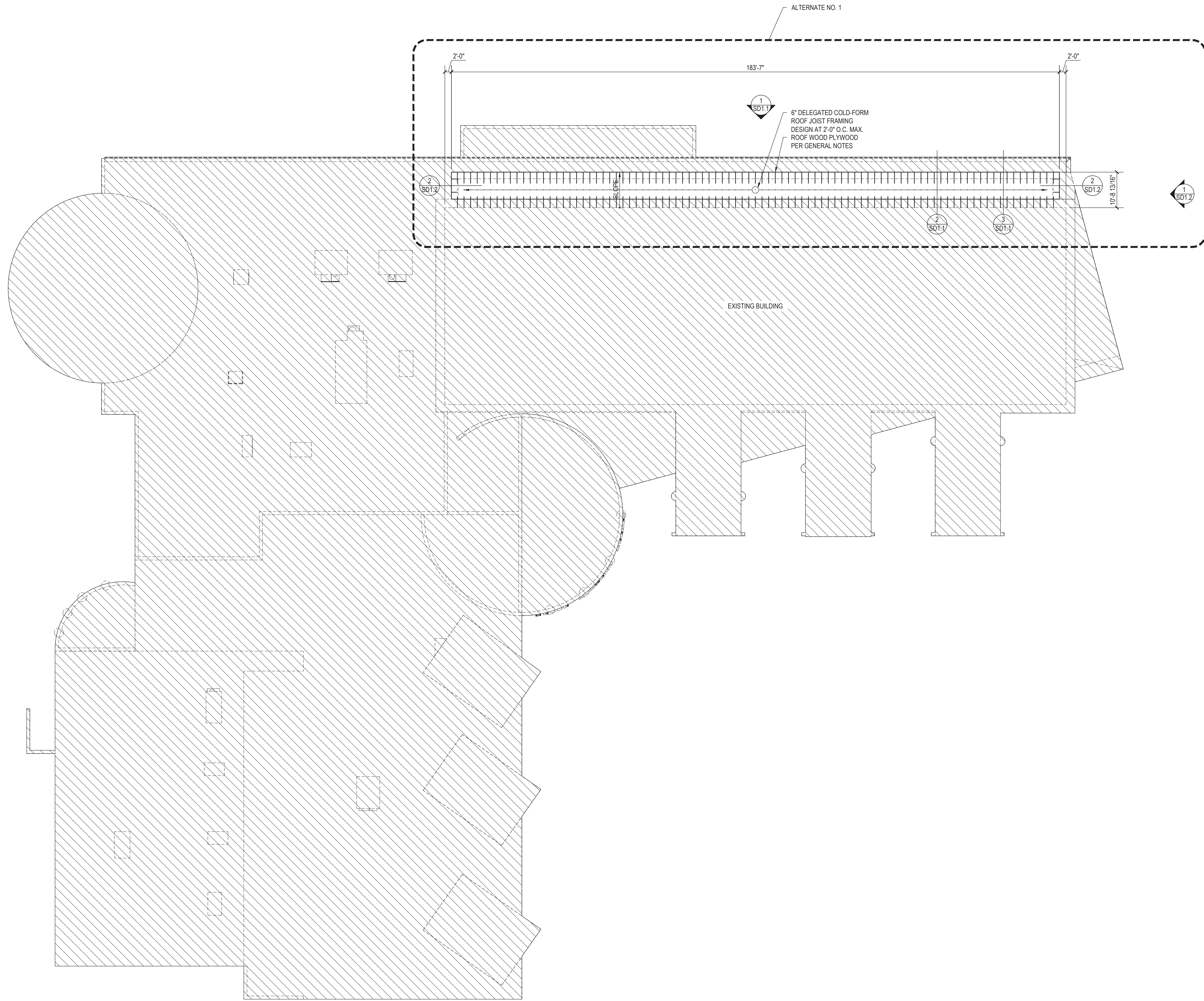
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REVISION:

DRAWN BY: HM
CHECKED BY: CG3
DATE: 10-16-19

EXISTING
CONDITIONS
(PHASE I)

D1.1



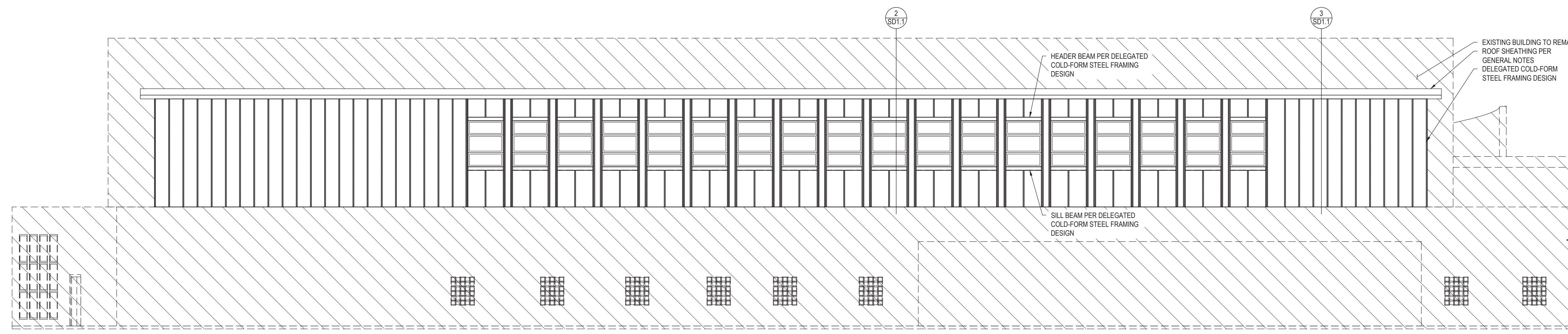
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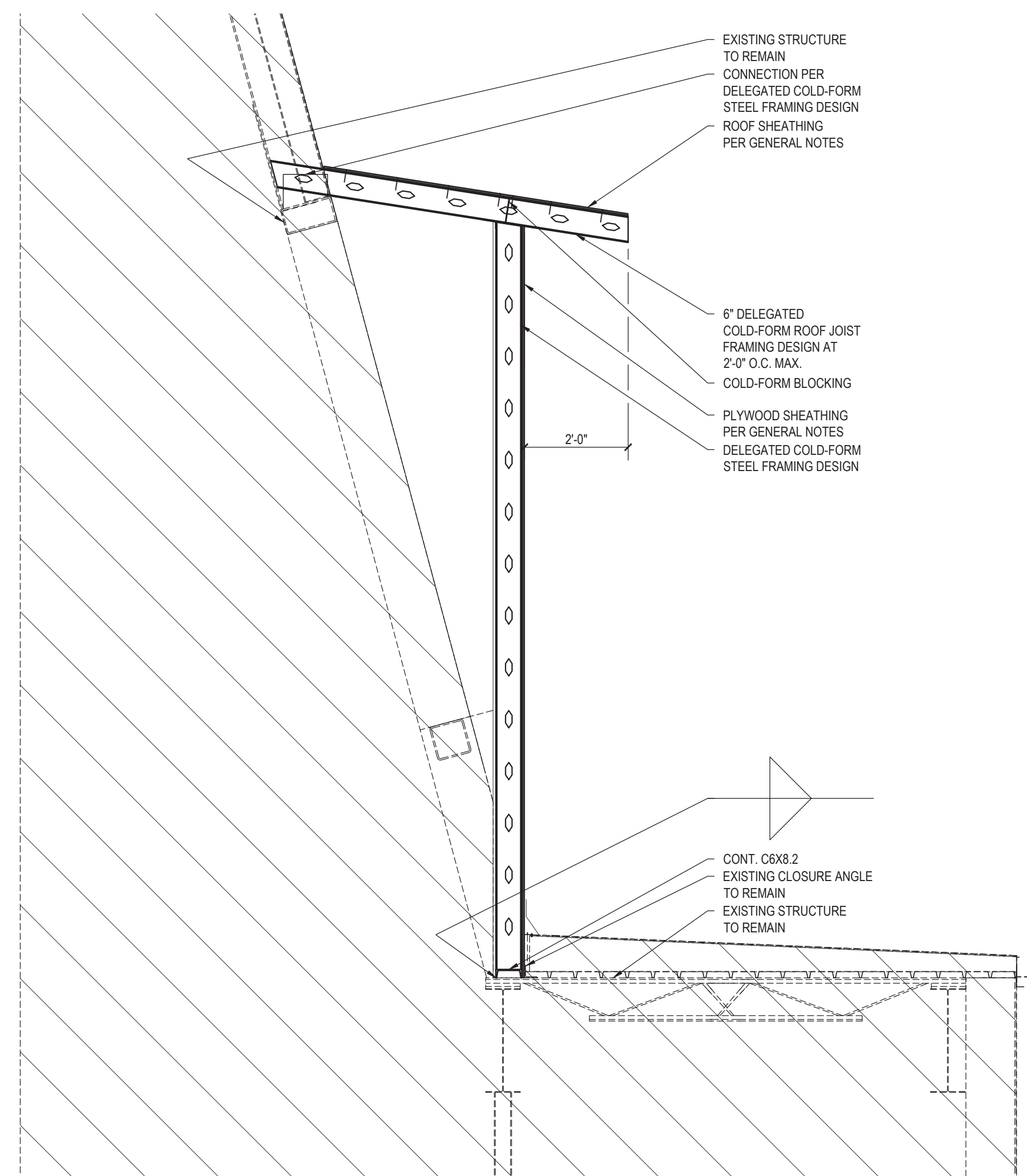
 DRAWN BY: MR
 CHECKED BY: RH, AT
 DATE: 10/14/2019

**STRUCTURAL
 FRAMING
 PLAN**
 ALTERNATE NO 1

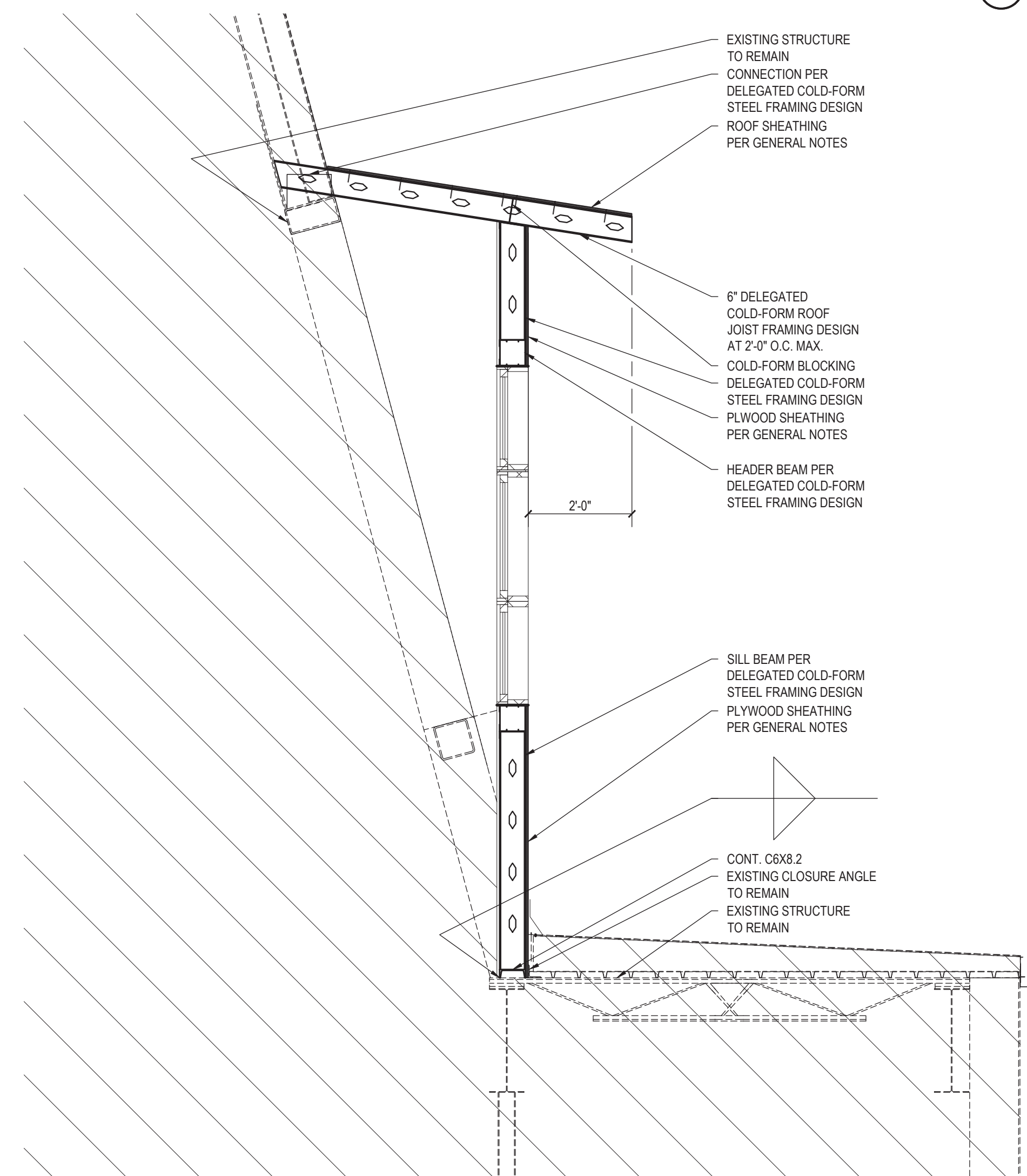
S2.1



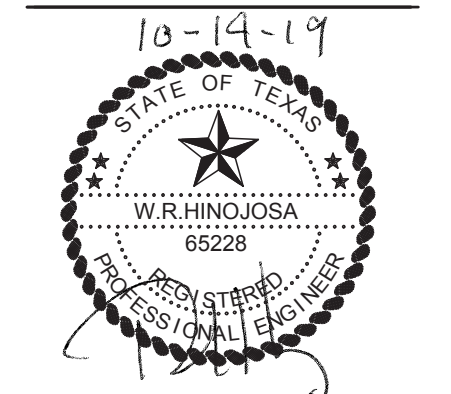
1 NORTH ELEVATION



3 FRAMING SECTION DETAIL



2 FRAMING SECTION DETAIL



ROOF REPLACEMENT FOR SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM

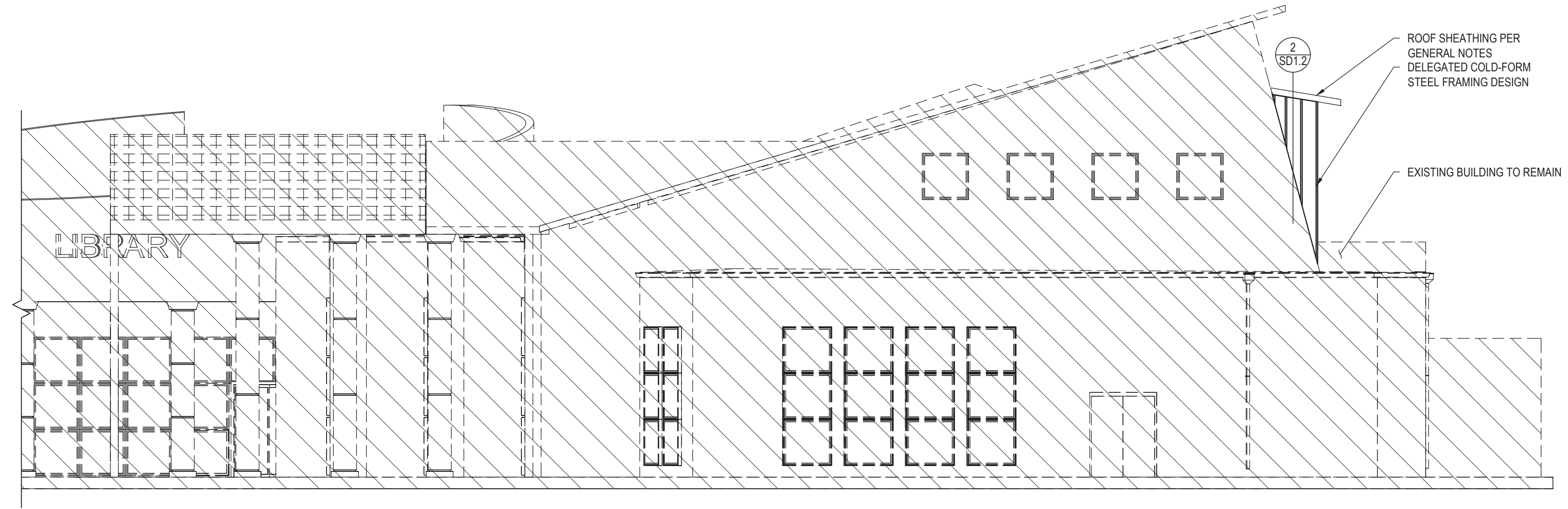
REVISION:

 DRAWN BY: MR
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 DATE: 10/14/2019

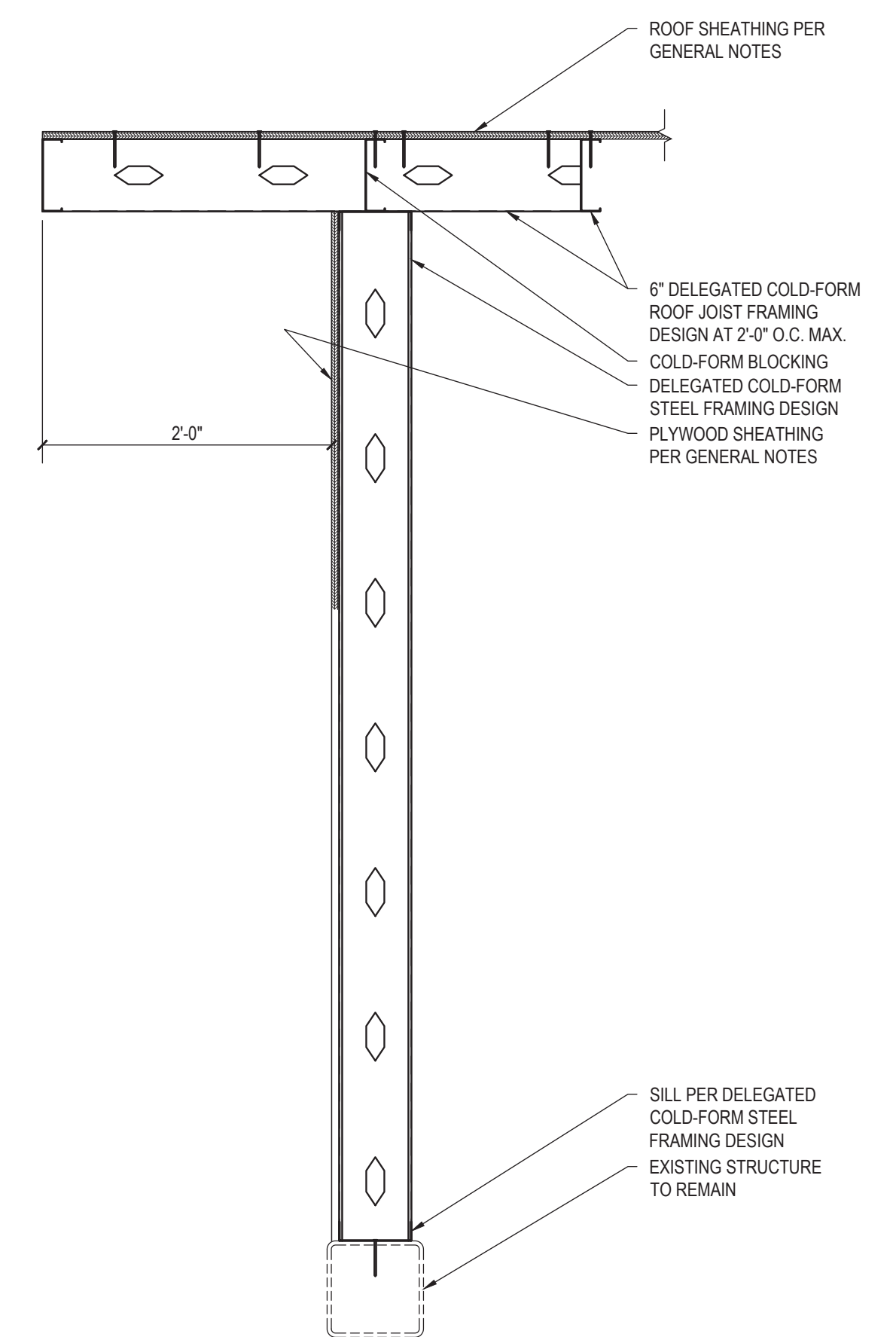
STRUCTURAL DETAILS

ALTERNATE NO 1

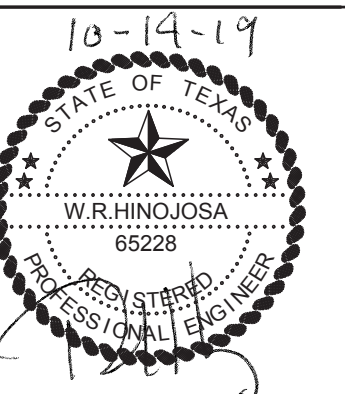
SD1.1



1 EAST ELEVATION



2 FRAMING SECTION DETAIL



**ROOF REPLACEMENT FOR SPEER
 MEMORIAL LIBRARY AND MISSION
 HISTORICAL MUSEUM**

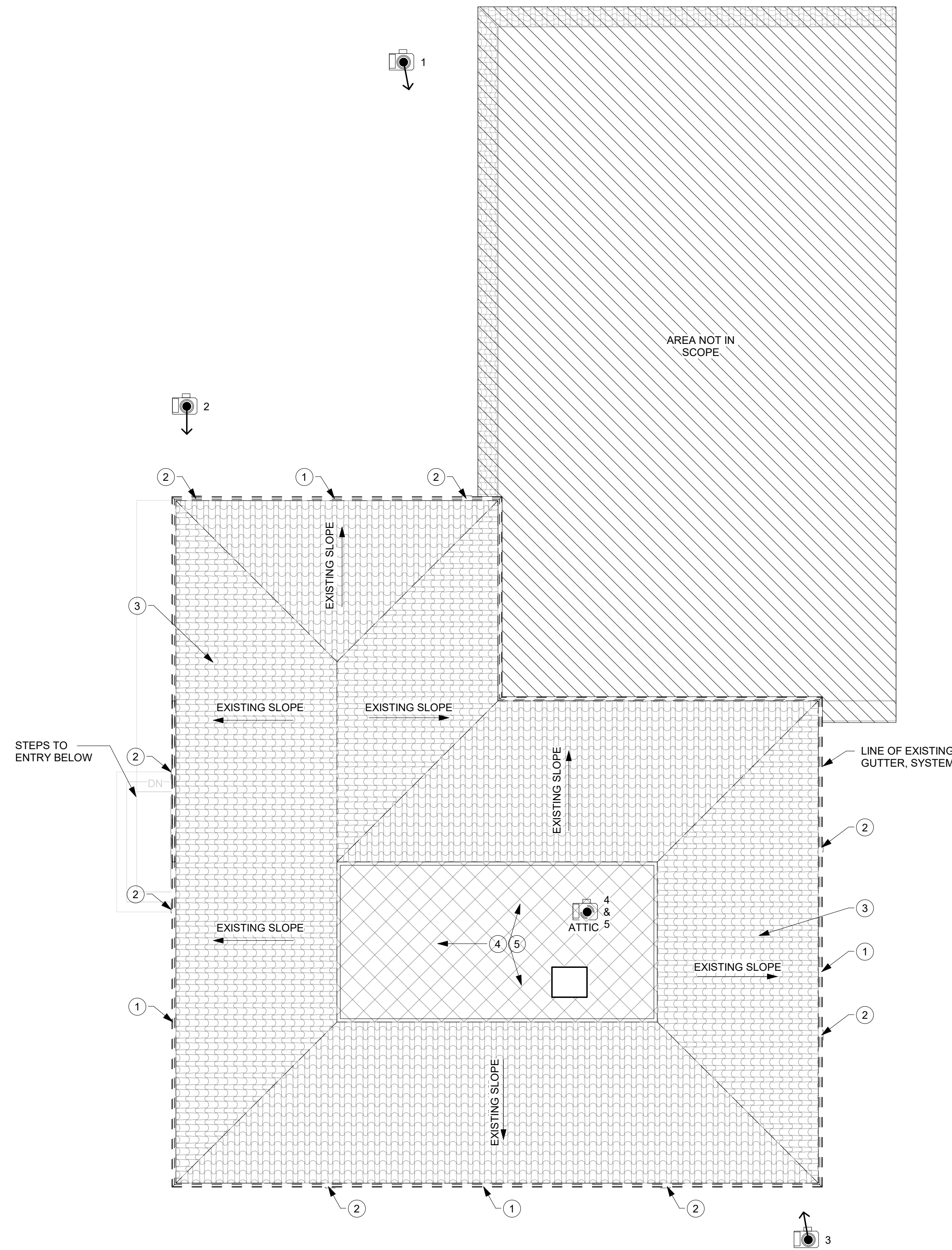
REVISION:

 DRAWN BY: MR
 CHECKED BY: RH, AT
 DATE: 10/14/2019

**STRUCTURAL
 DETAILS**

ALTERNATE NO 1

SD1.2



1 DEMO ROOF PLAN - BUILDING "A"
1/8" = 1'-0"

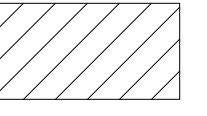
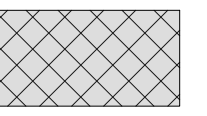
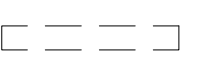

DEMOLITION GENERAL NOTES

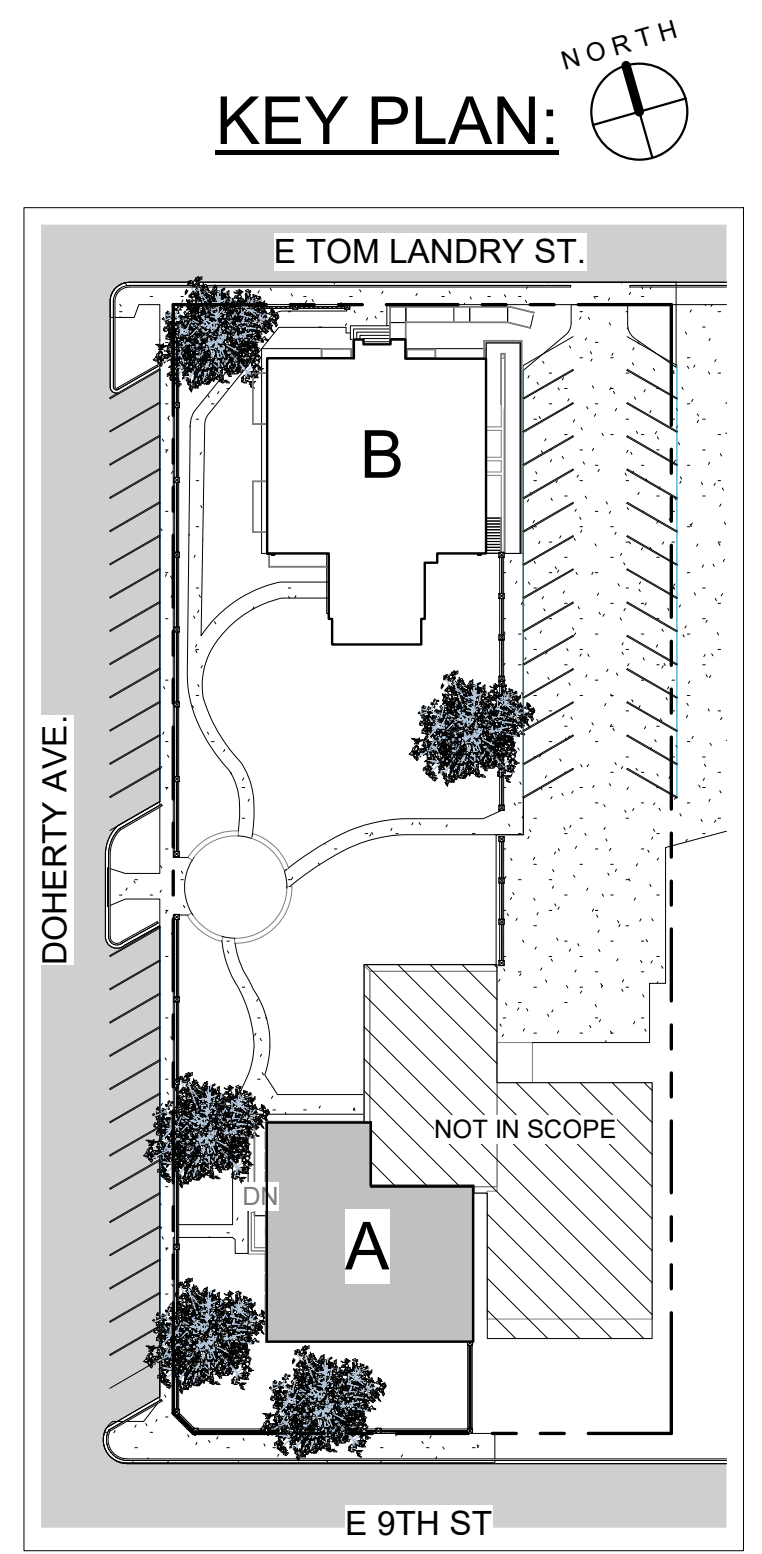
1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION
2. REFER TO PREVIOUS PHASE MEP DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES
3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS
4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION. THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED
5. STRUCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERE TO
6. STRUCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARINGS AS A MINIMUM. REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
7. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED
8. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE
9. PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY. PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS. REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
10. CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER.
11. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK, PROVISION & CONTROL OF ALL MEANS & METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS, INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY.
12. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK.
13. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERRUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

DEMOLITION KEYNOTES

- 1 REMOVE AND SALVAGE EXISTING GUTTER SYSTEM. PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY
- 2 EXISTING LEADER BOX AND DOWNSPOUT TO REMAIN. PATCH REPAIR EXISTING WALL STRUCTURE AS NECESSARY. FLUSH EXISTING DOWNSPOUT TO WORKING CONDITIONS.
- 3 REMOVE AND SALVAGE EXISTING ROOF TILE SYSTEM TO DECK. PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE.
- 4 DEMOLISH AND REMOVE EXISTING BUILT UP ROOF DOWN TO DECK. PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE AS REQ.
- 5 PATCH REPAIR EXISTING ROOF STRUCTURE AS REQ. REFER TO STRUCTURAL DRAWINGS

DEMOLITION LEGEND

-  AREA NOT IN CONTRACT, NO SCOPE. REFER TO STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DETAILS AND NOTES
-  SURFACE MATERIAL TO BE DEMOLISHED AND REMOVED
-  ITEM TO BE DEMOLISHED AND REMOVED
-  EXISTING, NO SCOPE. CONTRACTOR TO PROTECT DURING CONSTRUCTION. PATCH/REPAIR TO EXISTING CONDITION AS REQUIRED



10/12/19
[Signature]

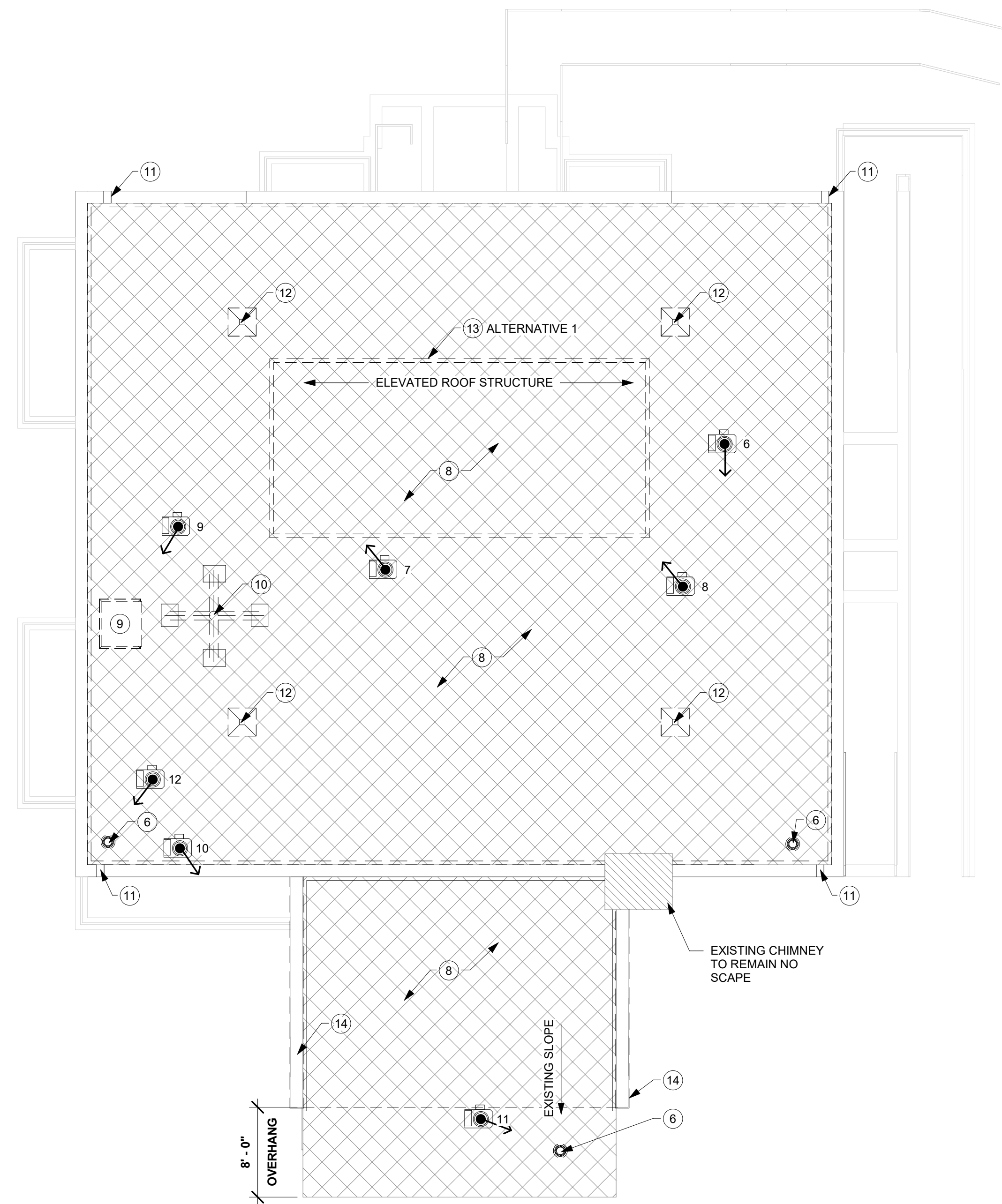
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REVISION:

DRAWN BY: HM
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DEMOLITION
PLAN -
BUILDING
"A"
(PHASE II)

D2.0



1 DEMO ROOF PLAN - BUILDING "B"
1/8" = 1'-0"

DEMOLITION GENERAL NOTES

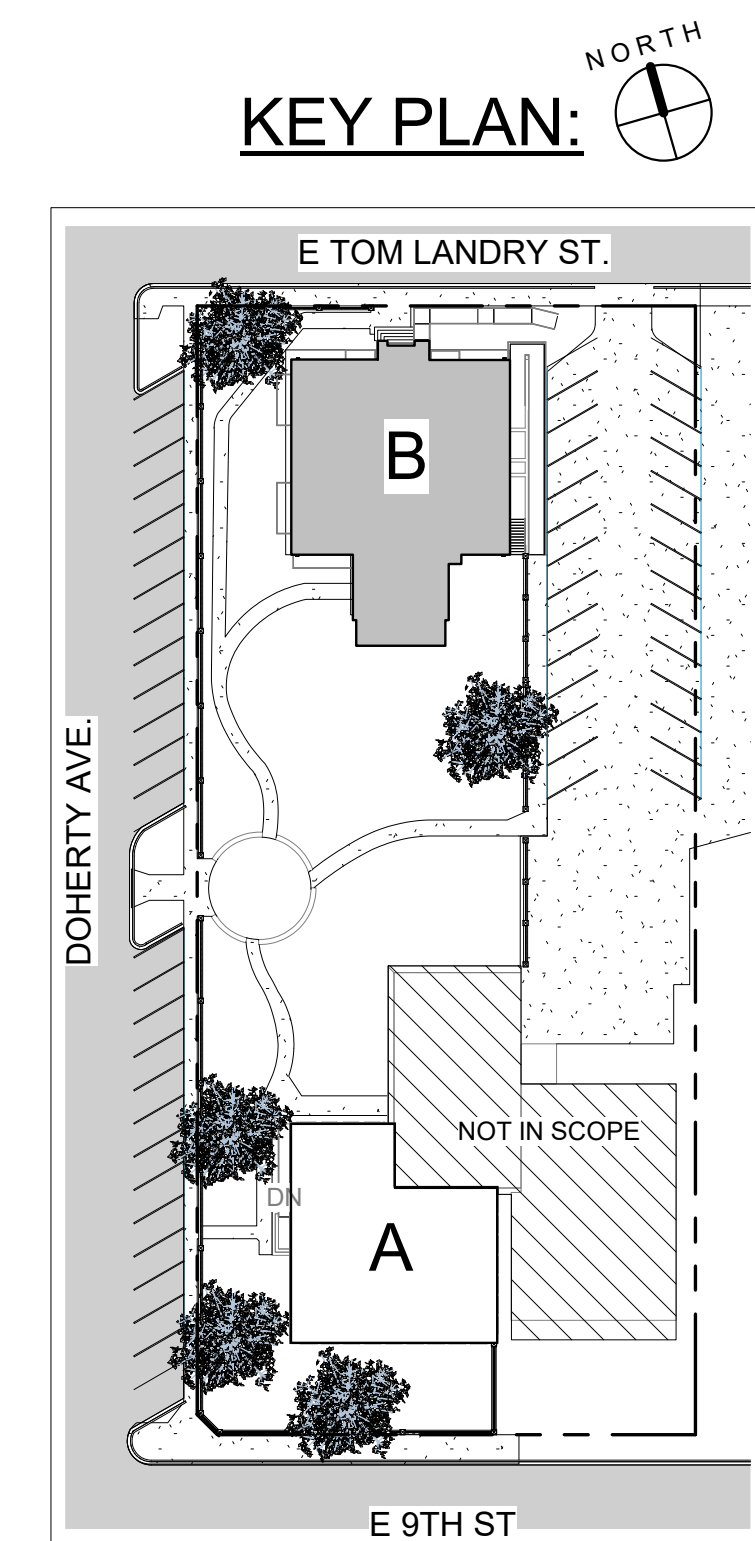
1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION
2. REFER TO PREVIOUS PHASE MEP DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES
3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING. REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS
4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION, THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE. REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED
5. STRUCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERETO
6. STRUCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARING AS A MINIMUM. REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
7. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED
8. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE
9. PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY. PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS. REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS
10. CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER.
11. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK, PROVISION & CONTROL OF ALL MEANS & METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS, INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY.
12. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK.
13. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERRUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

DEMOLITION KEYNOTES

- 6 DEMOLISH & REMOVE EXISTING ROOF DRAIN SYSTEM AND DOWNSPOUT. PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
- 7 EXISTING COPING TO REMAIN.
- 8 DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- 9 DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALLATION OF NEW ACCESS HATCH.
- 10 DEMOLISH AND REMOVE EXISTING STEEL STRUCTURE
- 11 PENETRATE EXISTING PARAPET WALL AND PREPARE FOR INSTALLATION OF NEW SCUPPER
- 12 MECHANICAL EQUIPMENT TO BE REMOVED. SEAL OPENING AND PREPARE FOR NEW ROOF.
- 13 ALTERNATIVE 1 DEMO EXISTING SHEATHING OVER SKYLIGHT
- 14 PATCH REPAIR EXISTING BLOCKING AT PARAPET AND PREPARE TO RECEIVE NEW METAL COPING

DEMOLITION LEGEND

- AREA NOT IN CONTRACT, NO SCOPE, REFER TO STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DETAILS AND NOTES
- SURFACE MATERIAL TO BE DEMOLISHED AND REMOVED
- ITEM TO BE DEMOLISHED AND REMOVED
- EXISTING, NO SCOPE, CONTRACTOR TO PROTECT DURING CONSTRUCTION, PATCH/REPAIR TO EXISTING CONDITION AS REQUIRED



Jose G. Garcia
REGISTERED ARCHITECT
JOSE G. GARCIA III
STATE OF TEXAS
22658

ROOF REPLACEMENT FOR SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM
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REVISION:

DRAWN BY: Author
CHECKED BY: Checker
DATE: 10-16-19

DEMOLITION PLAN - BUILDING "B" (PHASE III)

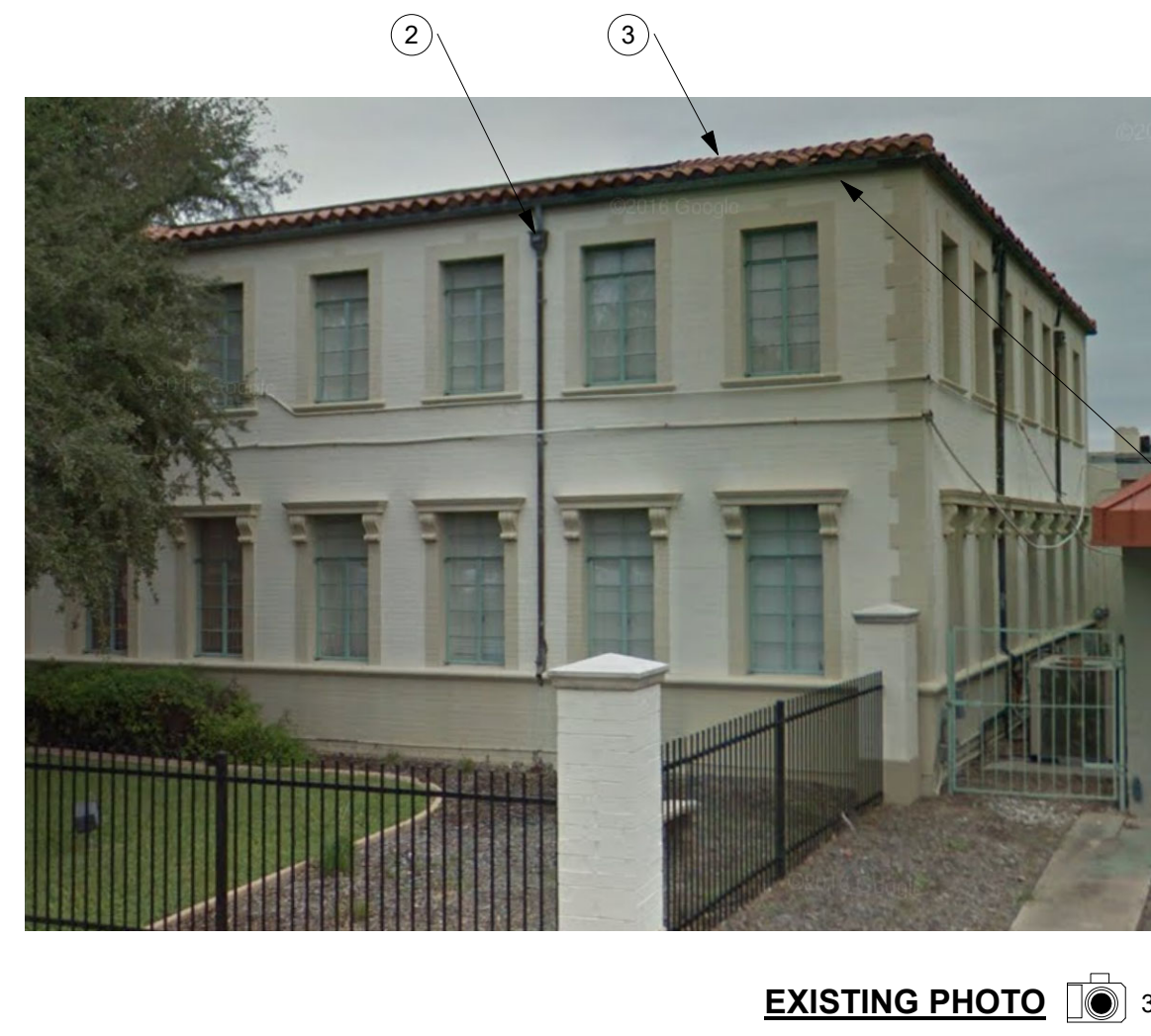
D2.1



EXISTING PHOTO 1



EXISTING PHOTO 2



EXISTING PHOTO 3



EXISTING PHOTO 4



EXISTING PHOTO 5



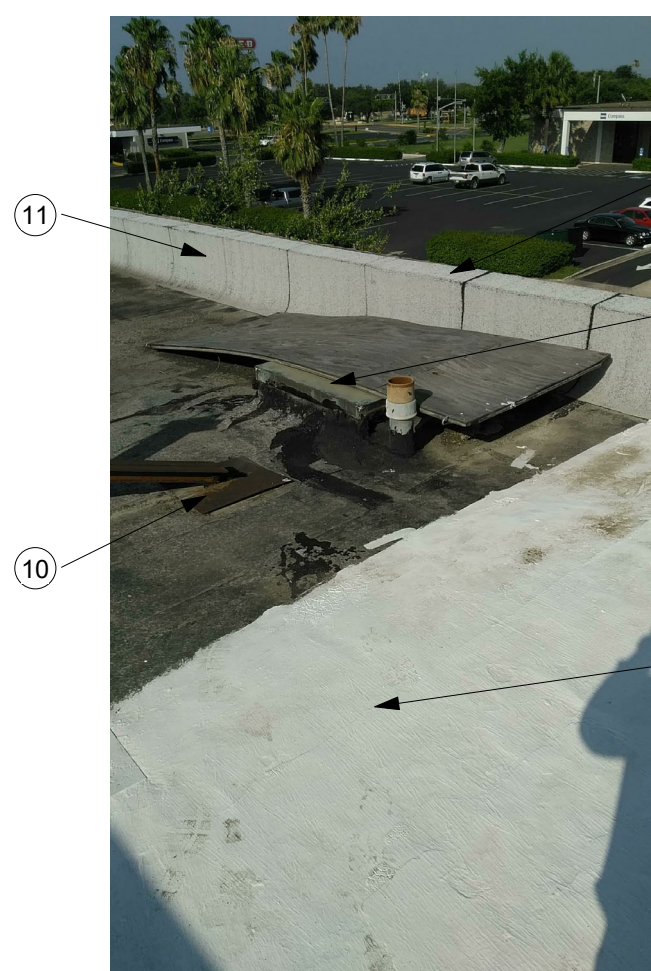
EXISTING PHOTO 6



EXISTING PHOTO 7



EXISTING PHOTO 8



EXISTING PHOTO 9



EXISTING PHOTO 10



EXISTING PHOTO 11



EXISTING PHOTO 12

GENERAL NOTES:

- ALL PHOTOGRAPHS SHOWN ARE EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT. ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION.
- REFER TO SHEET D2.0 & D2.1 FOR DEMOLITION DETAILS AND NOTES IN ACCORDANCE TO THESE PHOTOGRAPHS. LOCATION OF PHOTOS ARE SHOWN AS TYPICAL ON DEMOLITION PLAN. X
- REFER TO SHEET A2.1 & A2.2 FOR NEW ROOF CONFIGURATIONS AND NOTES.
- THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT INJURY OR DAMAGE TO ALL OTHER STRUCTURES NOT IN SCOPE. THE CONTRACTOR SHALL REBUILD, REPAIR OR RESTORE AT HIS OWN EXPENSE. ALL INJURIES OR DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS COMPLETION AND ACCEPTANCE.

DEMOLITION KEYNOTES

- REMOVE AND SALVAGE EXISTING GUTTER SYSTEM, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY
- EXISTING LEADER BOX AND DOWNSPOUT TO REMAIN, PATCH REPAIR EXISTING WALL STRUCTURE AS NECESSARY. FLUSH EXISTING DOWNSPOUT TO WORKING CONDITIONS.
- REMOVE AND SALVAGE EXISTING ROOF TILE SYSTEM TO DECK. PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE.
- DEMOLISH AND REMOVE EXISTING BUILT UP ROOF DOWN TO DECK. PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE AS REQ.
- PATCH REPAIR EXISTING ROOF STRUCTURE AS REQ. REFER TO STRUCTURAL DRAWINGS

DEMOLITION KEYNOTES

- DEMOLISH & REMOVE EXISTING ROOF DRAIN SYSTEM AND DOWNSPOUT. PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
- EXISTING COPING TO REMAIN.
- DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALLATION OF NEW ACCESS HATCH.
- DEMOLISH AND REMOVE EXISTING STEEL STRUCTURE FOR INSTALLATION OF NEW SCUPPER
- PENETRATE EXISTING PARAPET WALL AND PREPARE FOR INSTALLATION OF NEW SCUPPER
- MECHANICAL EQUIPMENT TO BE REMOVED. SEAL OPENING AND PREPARE FOR NEW ROOF.
- ALTERNATIVE 1 DEMO EXISTING SHEATHING OVER SKYLIGHT
- PATCH REPAIR EXISTING BLOCKING AT PARAPET AND PREPARE TO RECEIVE NEW METAL COPING



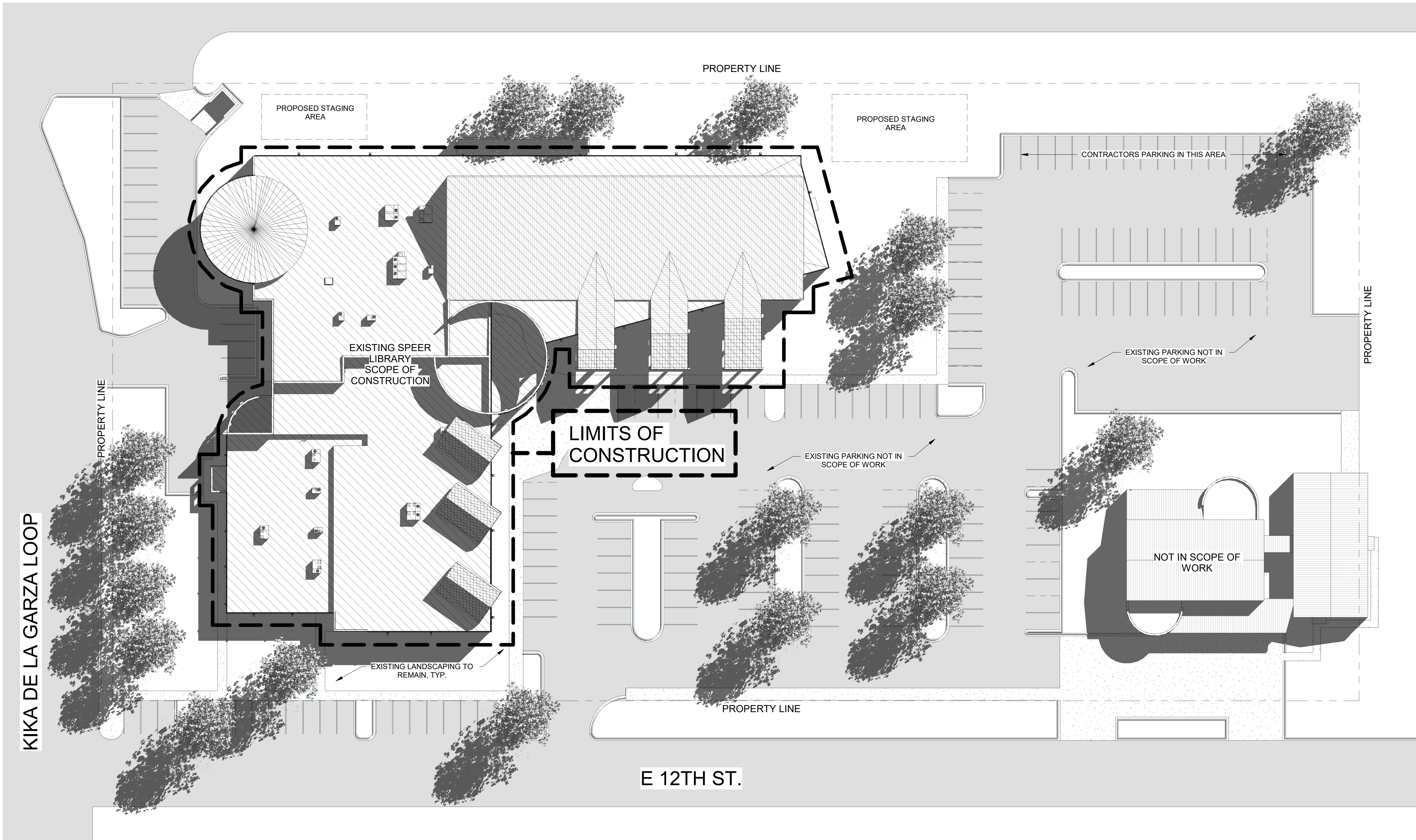
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EXISTING
CONDITIONS
MUSEUM

D2.2

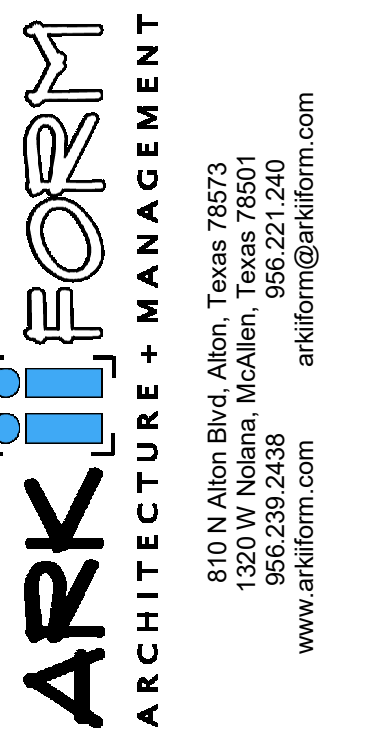
E 13TH ST.



2 OVERALL SITE PLAN
1" = 30'-0"

SITE GENERAL NOTES:

1. THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS PIPELINES, UTILITIES ECT. WHETHER PUBLICLY OR PRIVATELY OWNED.
2. G.C. SHALL REPAIR ALL ASPHALT PAVING AND CONCRETE CURB, GUTTER, SIDEWALK, DRAINAGE, LANDSCAPING, OR ANY STRUCTURES DAMAGED DURING CONSTRUCTION.
3. G.C. TO COORDINATE WORK WITH OWNER REPRESENTATIVE AND ARCHITECT.



ROOF REPLACEMENT FOR
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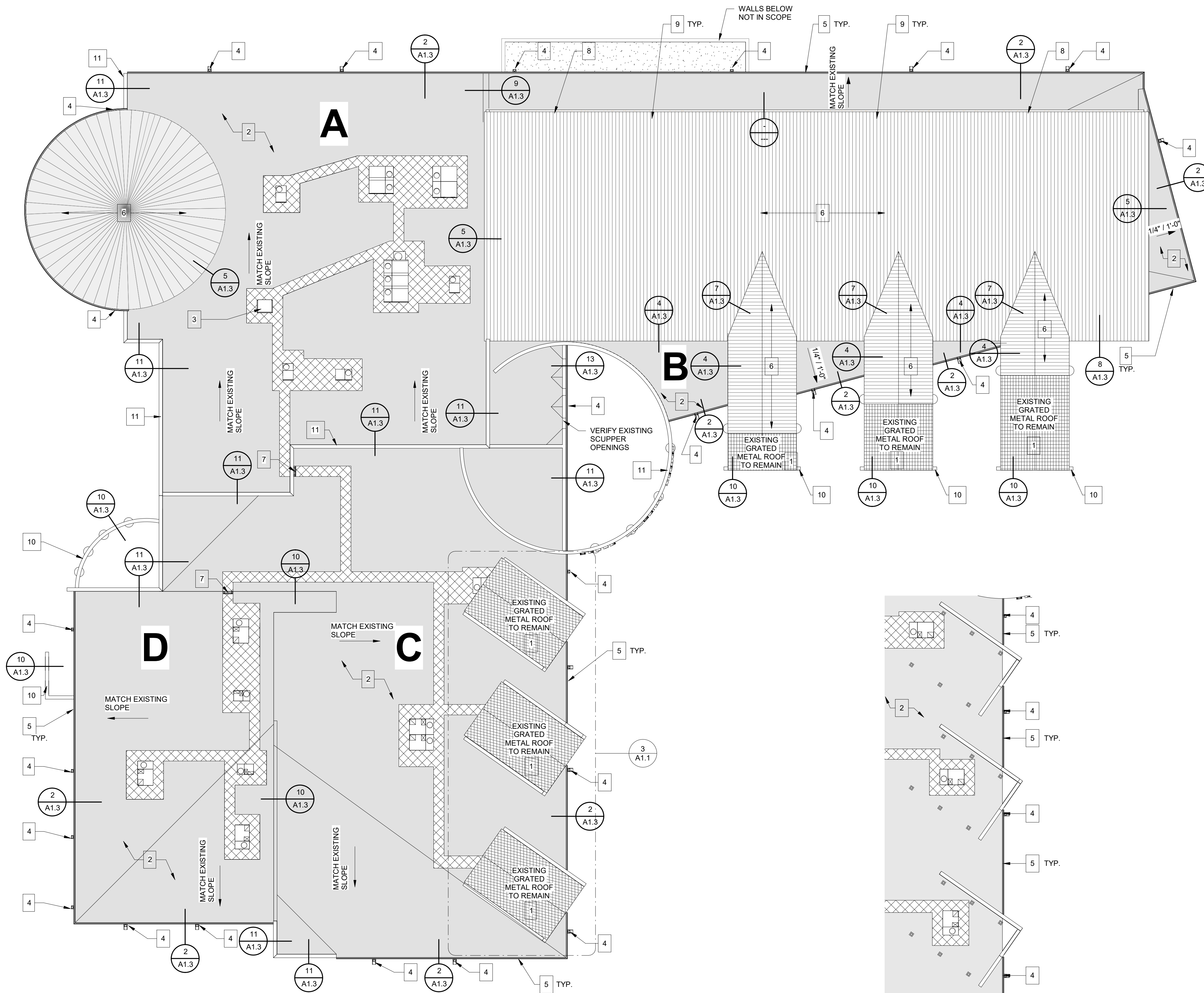
RFP: 20-074-12-09 MISSION, TX 78572

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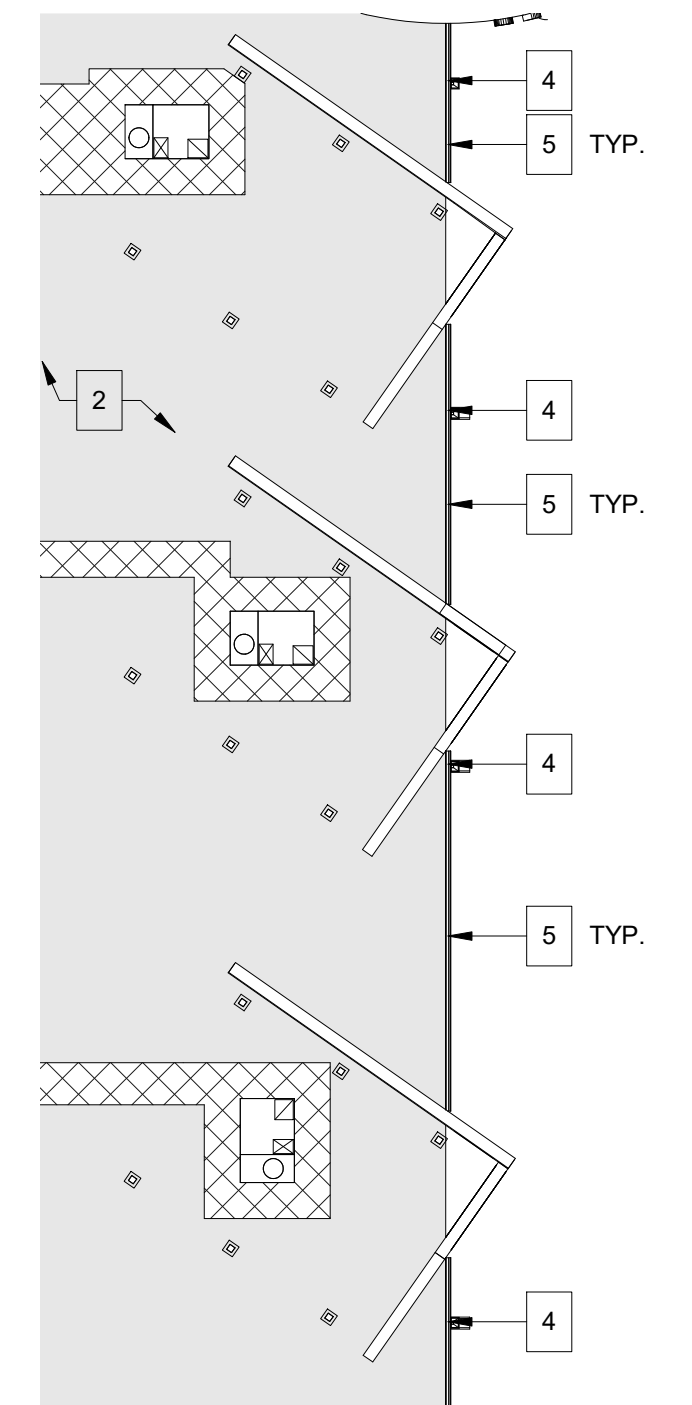
DRAWN BY: Author
CHECKED BY: JCG
DATE: 10-16-19

OVERALL
SITE PLAN
(PHASE I)

A1.0



2 NEW ROOF PLAN
1/16" = 1'-0"



3 ROOF PLAN UNDER METAL STRUCTURE
1/16" = 1'-0"

ROOF GENERAL NOTES

- CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.
- UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE. FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY TO USE SYSTEM OR PRODUCT.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES. REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS.
- ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT TREATED.
- ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.
- PROVIDE PREFINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED. MATCH EXISTING SIZE AND LOCATIONS.
- PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS.
- PROVIDE PREFINISHED GALVANIZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED. MATCH EXISTING SIZE AND LOCATIONS.
- REFER TO MEP FOR EXPOSED PIPE AND ROOF EQUIPMENT SUPPORT, COORDINATED WITH ROOFING MANUFACTURER DETAILING FOR ROOF WARRANTY ADHERENCE.
- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND BUILDING SERVICE SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE. IF ANY SYSTEM IS DAMAGED DURING CONSTRUCTION OR FOR PREPARATION OF NEW CONSTRUCTION, CONTRACTOR SHALL PATCH/REPAIR DAMAGED SYSTEM TO EXISTING CONDITION.
- GENERAL CONTRACTOR SHALL PROVIDE EXTRA CARE TO PREVENT DAMAGE TO EXISTING CONCRETE WALKS, ASPHALT/CONCRETE DRIVE/PARKING AREAS, OR LANDSCAPE AREAS OUTSIDE OF CONSTRUCTION LIMITS, AND ALL DAMAGE SHALL BE PATCHED/REPAIRED TO EXISTING CONDITION.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR TO CAREFULLY REMOVE, SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REMOVED TO PROVIDE NEW ROOFING SYSTEM. ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION.
- GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL.

KEYNOTES

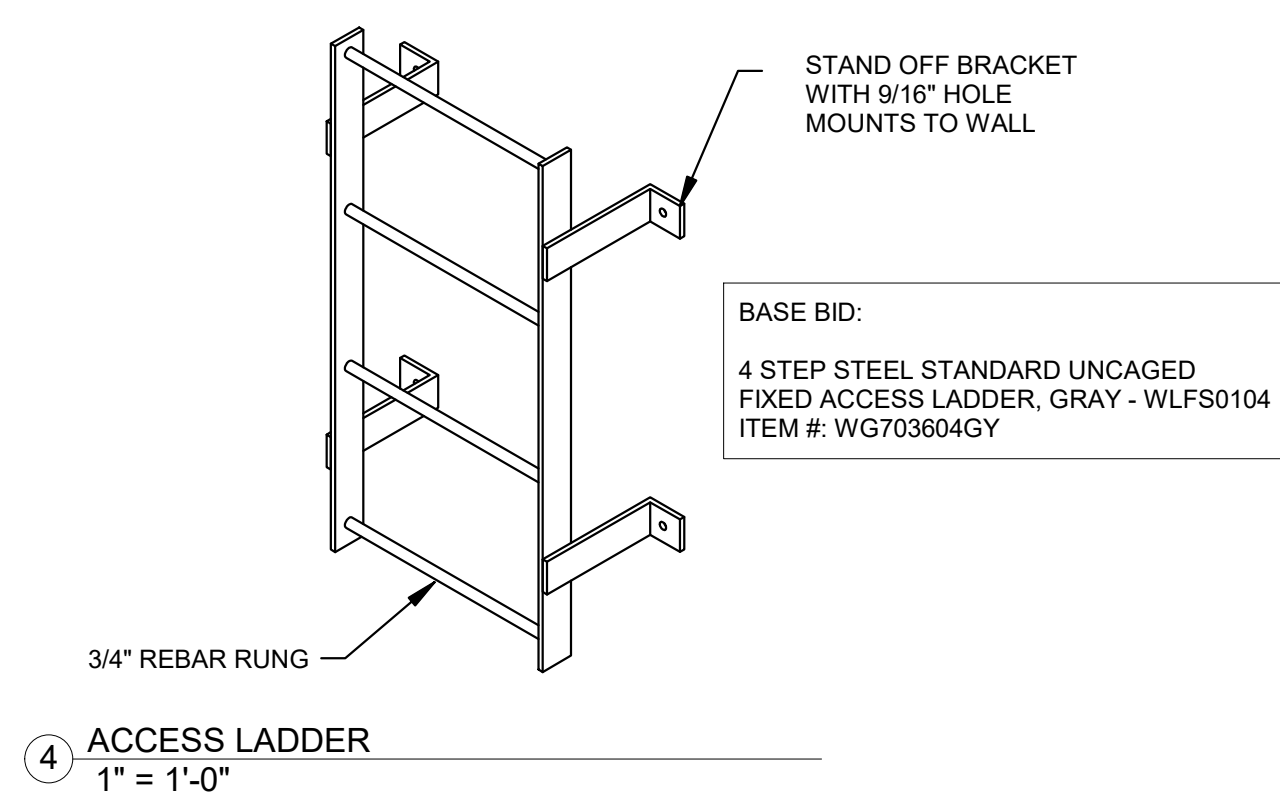
- ROOF NOT IN SCOPE OF WORK
- NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK AS SPECIFIED.
- RESET AND FIX EXISTING ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING. 5" MIN. CURB HEIGHT. REFER TO 5/A1.1
- NEW PRE-FINISHED ALUMINUM SCUPPER WITH DOWNSPOUT. SECURE AND SUPPORT TO BUILDING AS REQ.
- NEW PRE-FINISHED ALUMINUM GUTTER SYSTEM.
- EXISTING METAL ROOF TO BE RE-SEALED AND POINTED AT ALL EDGES AND JOINTS. PATCH REPAIR ANY DAMAGED FLASHING AND DRIP EDGES.
- PROVIDE NEW ROOF ACCESS LADDER. REFER TO DETAIL 4/A1.1
- PATCH REPAIR STUCCO AS REQ.
- RE-SEAL EXISTING WINDOWS. REPAIR ANY DAMAGED WINDOWS AS NEEDED.
- NEW METAL CAP AT OUT WALL
- NEW METAL CAP AT PARAPET WALL

ROOF AREA KEYNOTE:

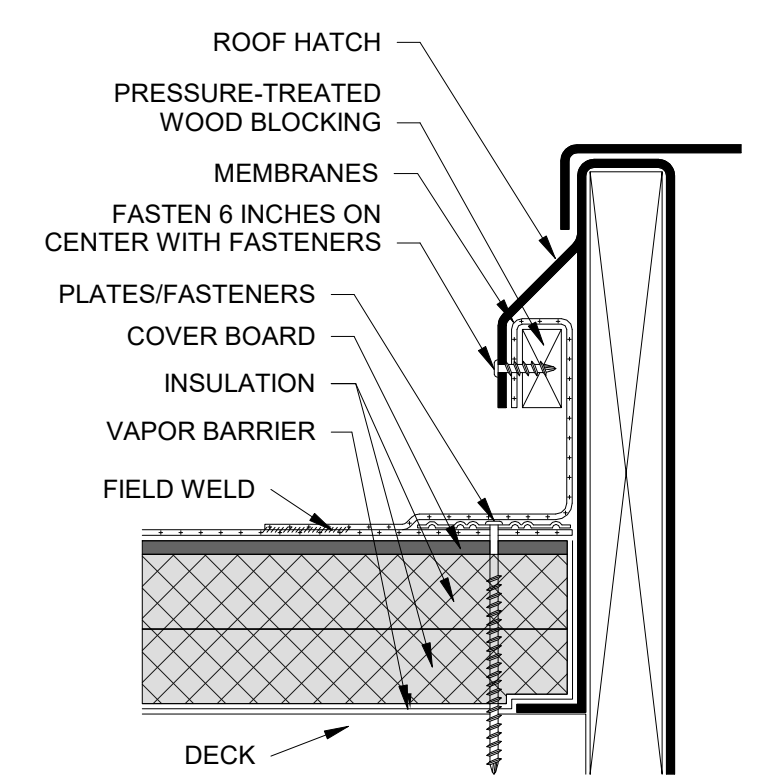
MAIN ROOF AREAS:

Area	Area	Area	Area
A	B	C	D
13,000 SF	1,560 SF	11,430 SF	5,590 SF
TOTAL SF 31,580 SF			

OVERALL ROOF AREAS



4 ACCESS LADDER
1" = 1'-0"



5 HATCH FLASHING DETAIL
3" = 1'-0"



10/11/19
Jose Garcia

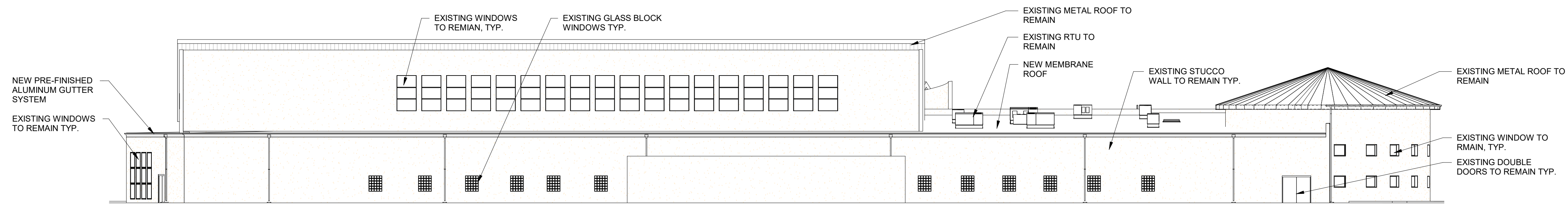
**ROOF REPLACEMENT FOR
SPEER MEMORIAL LIBRARY
AND MISSION HISTORICAL
MUSEUM**
RFP: 20-074-12-09 MISSION, TX 78572

REVISION:

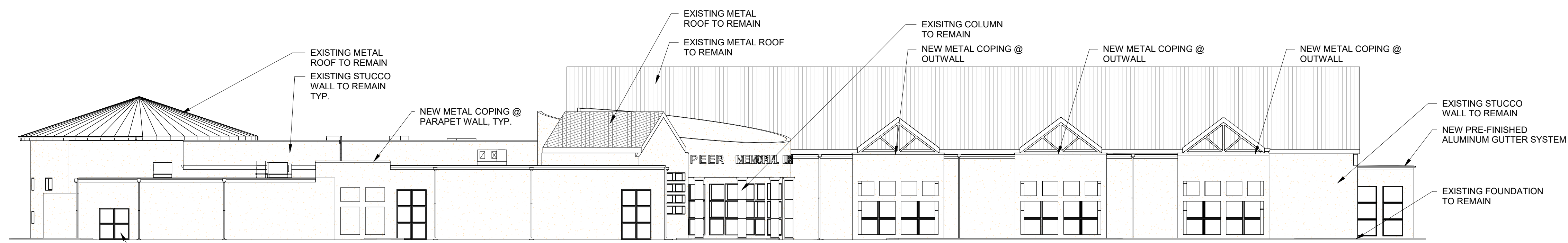
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DATE: 10-16-19

**NEW ROOF
PLAN
(PHASE I)**

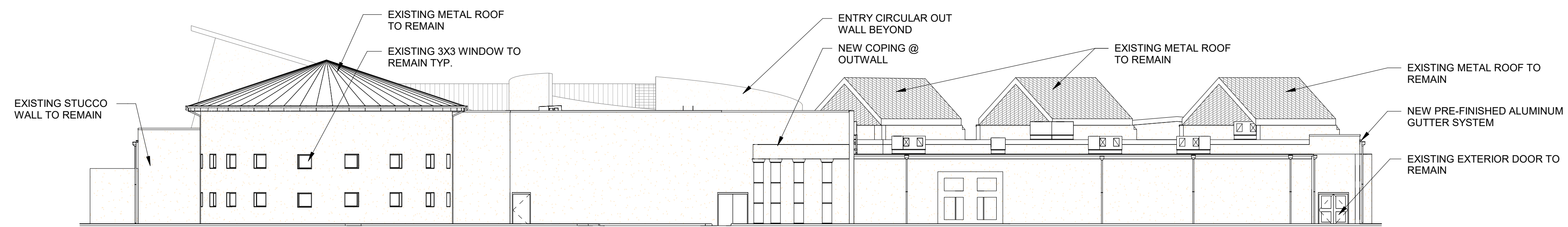
A1.1



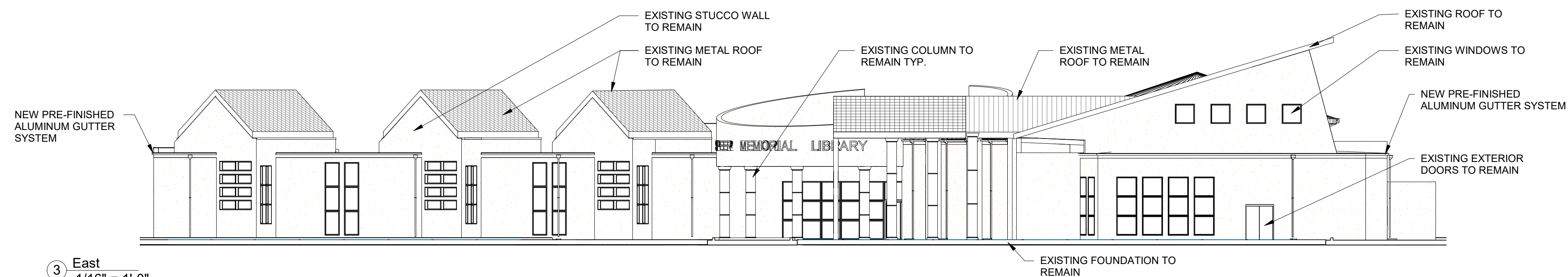
1 North
1/16" = 1'-0"



2 South
1/16" = 1'-0"



4 West
1/16" = 1'-0"



3 East
1/16" = 1'-0"

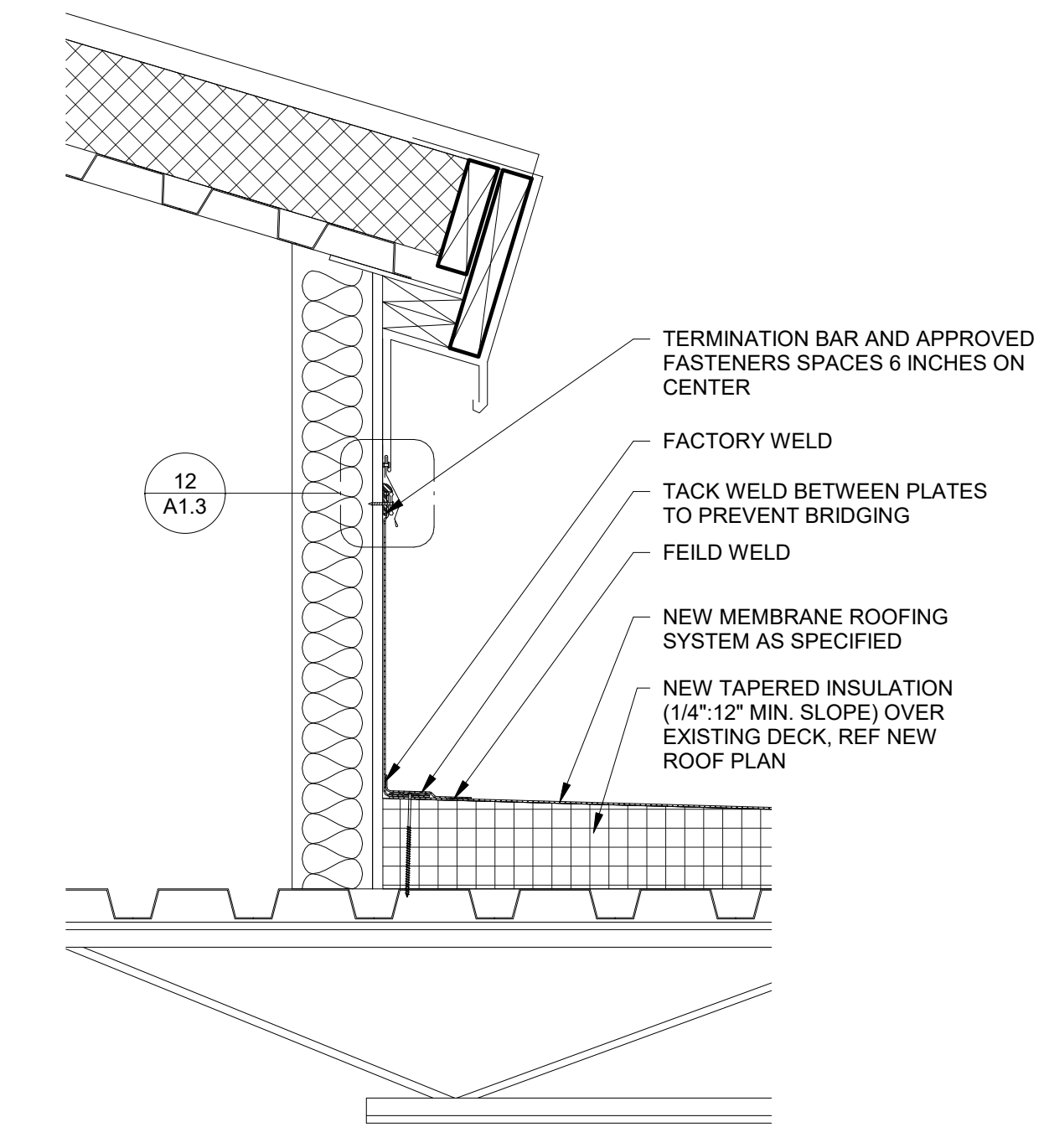


**ROOF REPLACEMENT FOR
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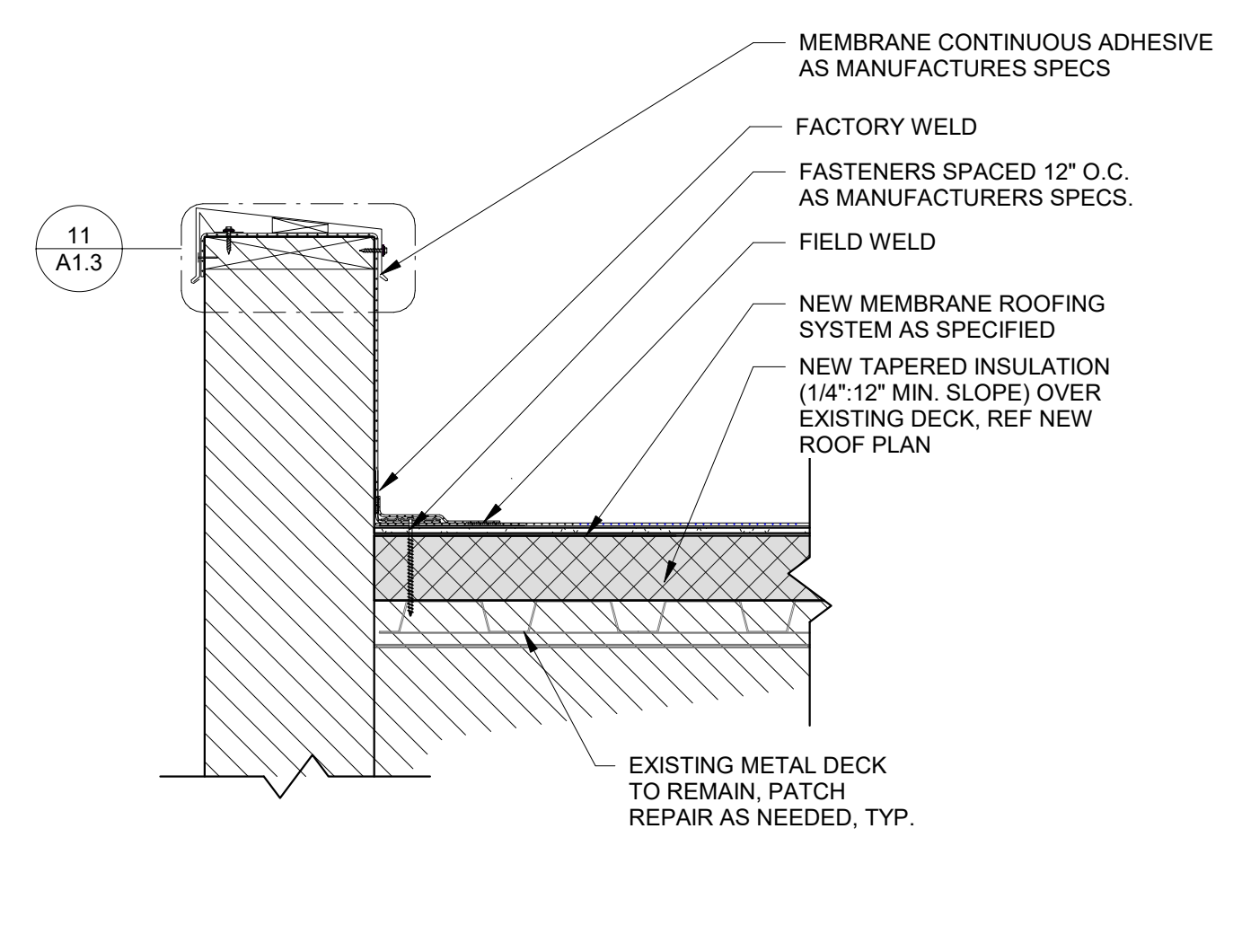
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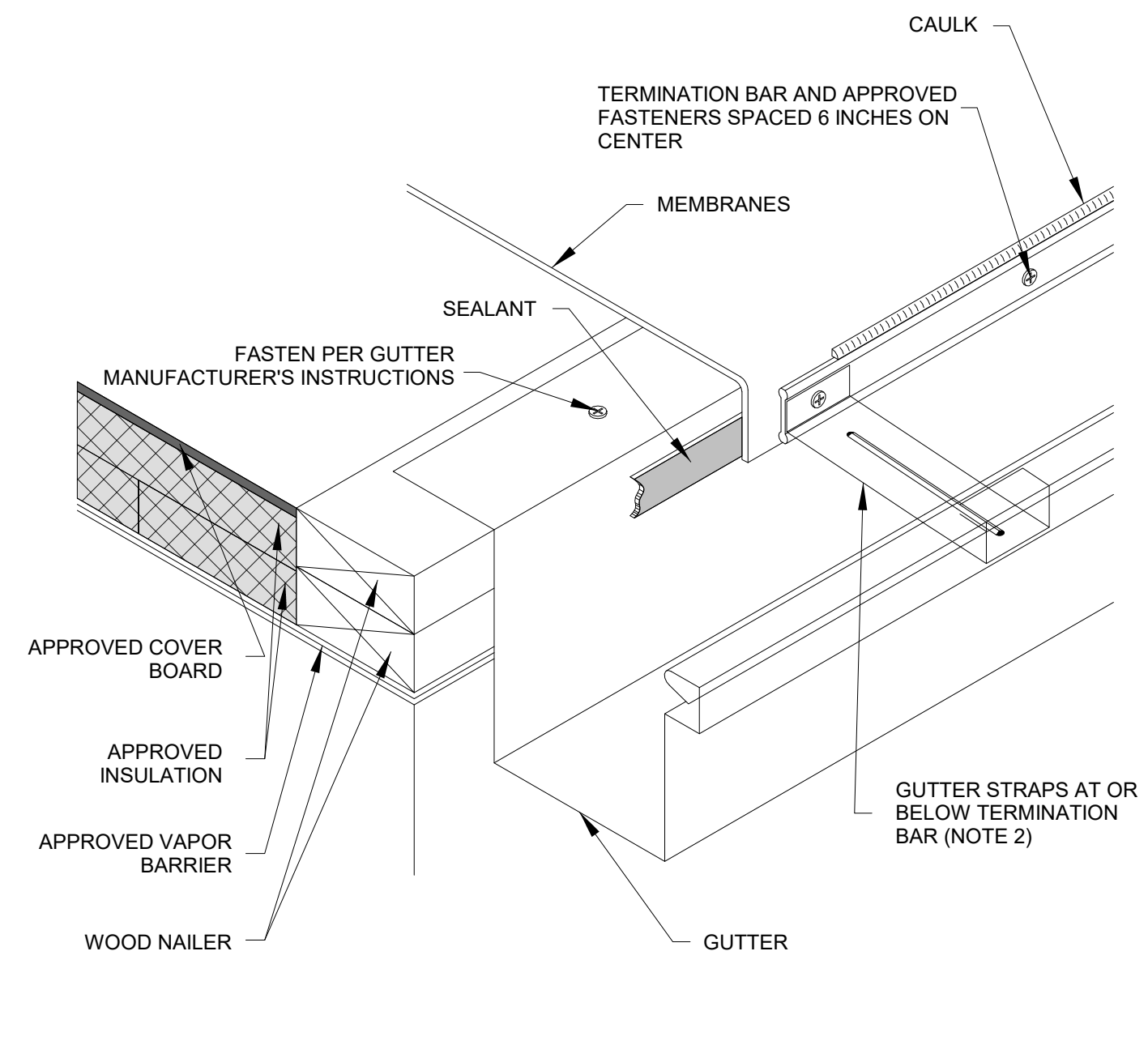
**EXTERIOR
ELEVATIONS
(PHASE I)**



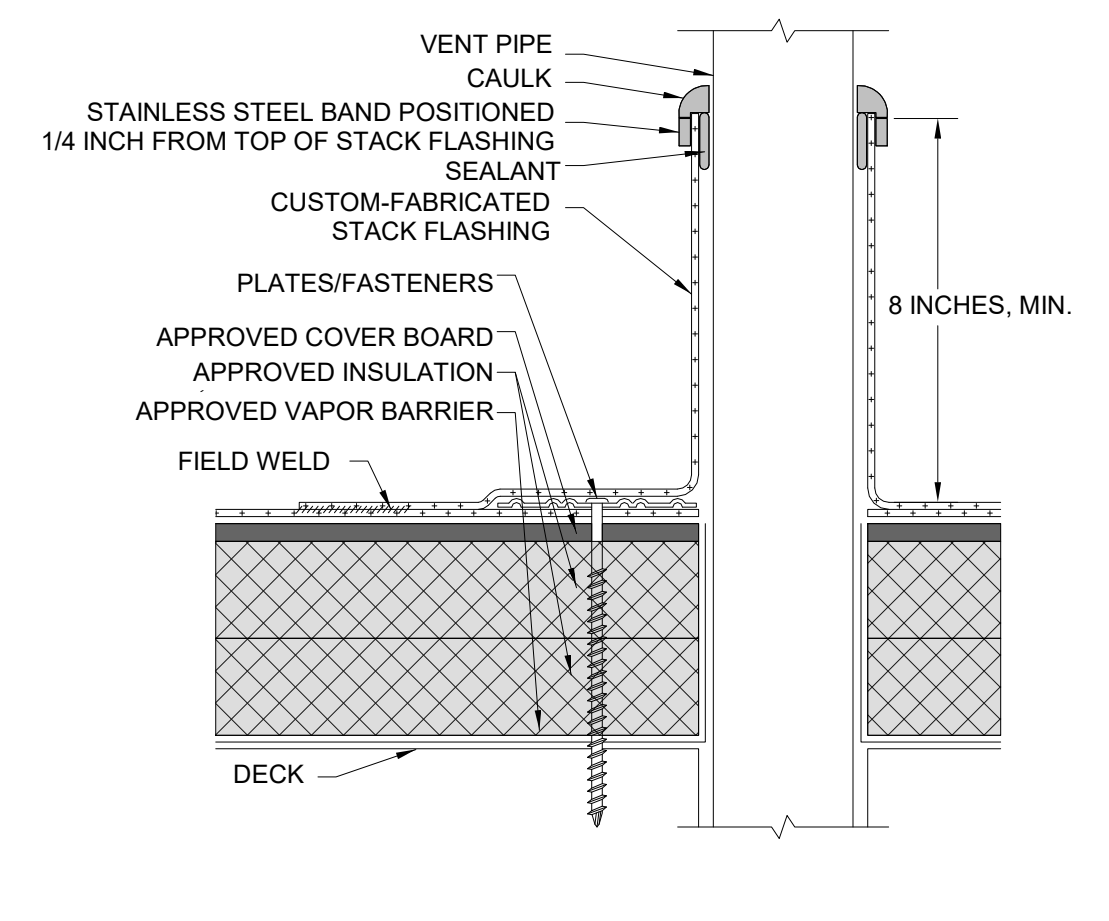
12 METAL ROOF SOFFIT WITH MEMBRANE ROOF BELOW
1 1/2" = 1'-0"



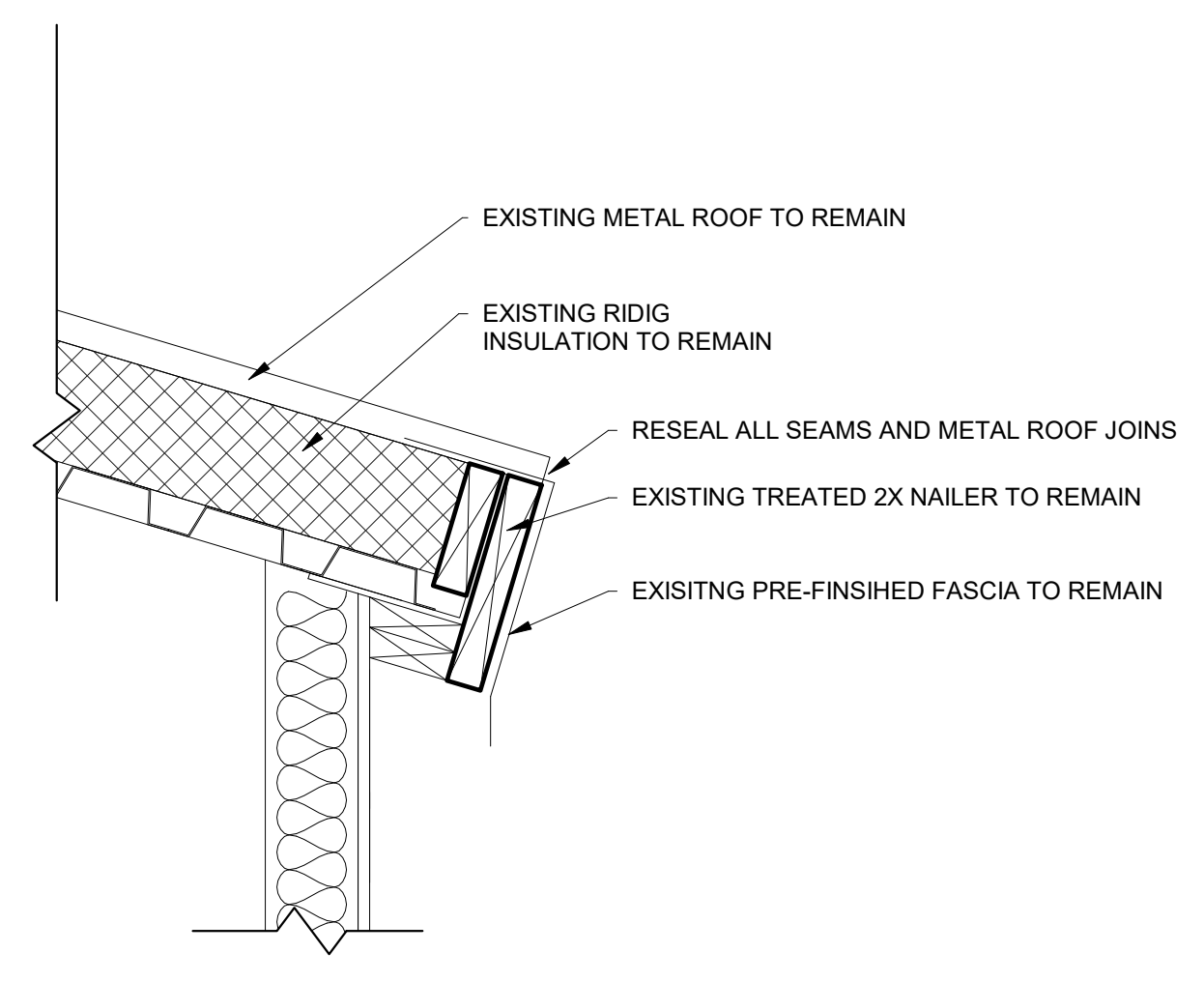
11 PARAPET DETAIL
1 1/2" = 1'-0"



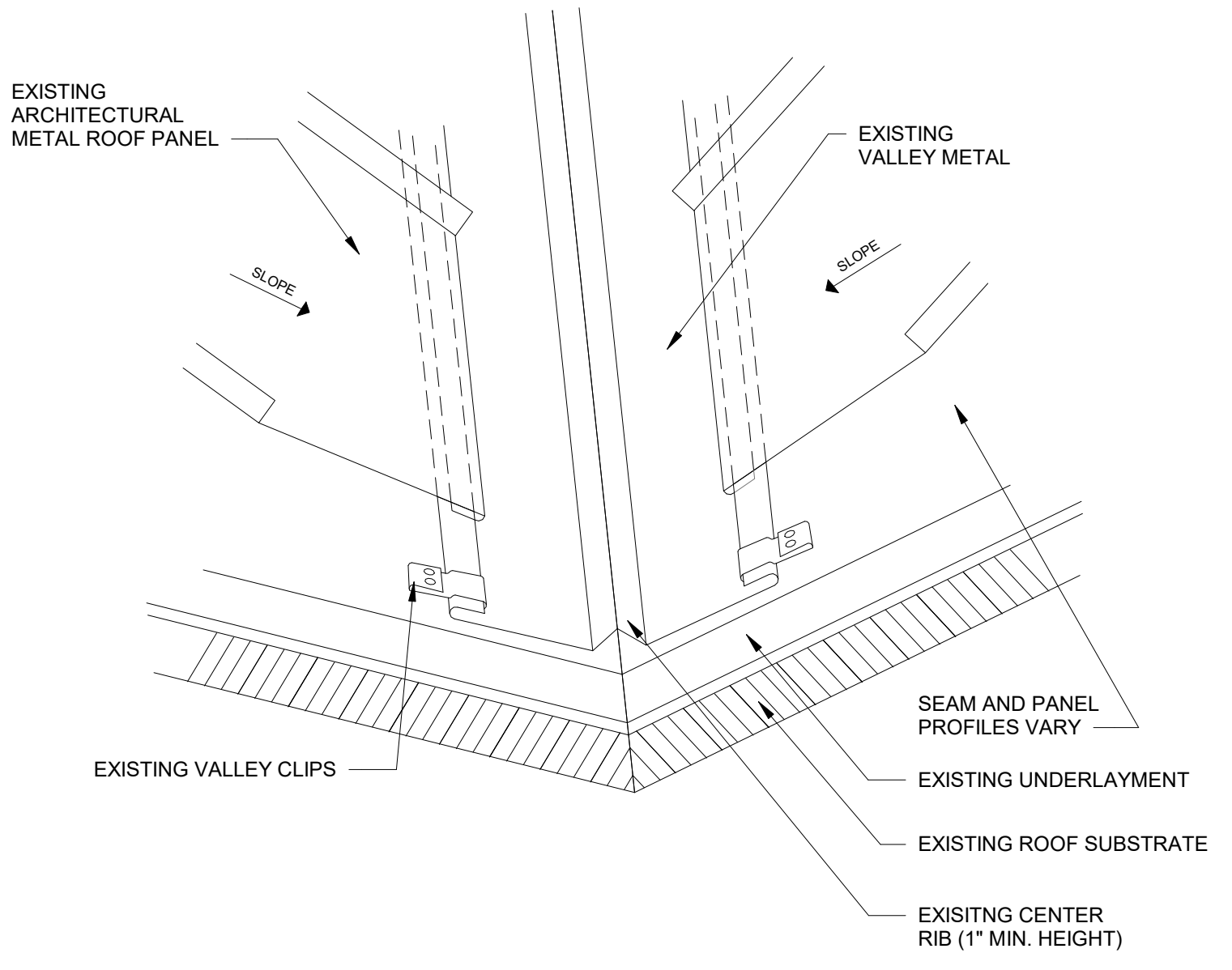
2 TERMINATION BAR INTO GUTTER
3" = 1'-0"



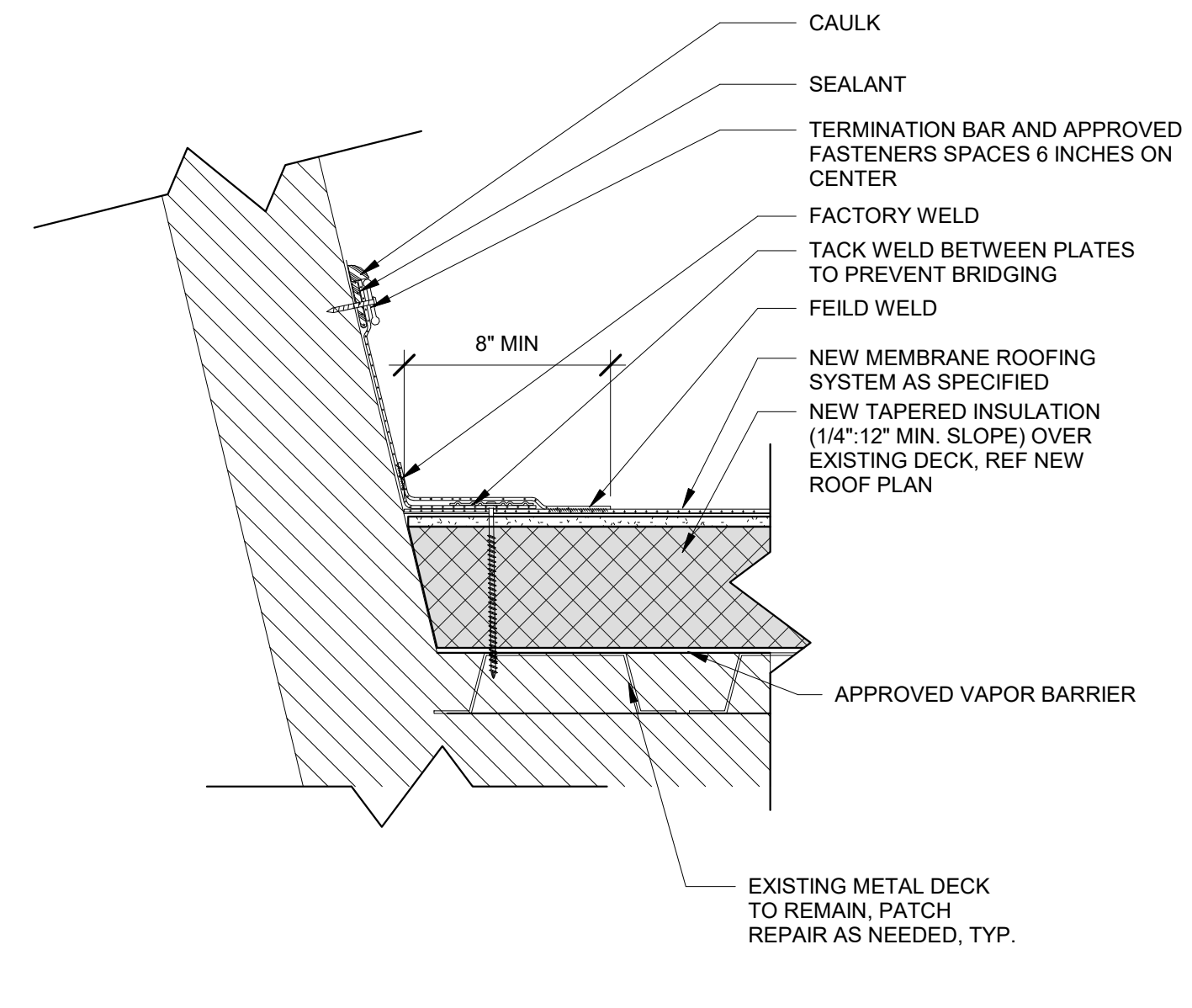
1 TYPICAL ROUND PENETRATION
3" = 1'-0"



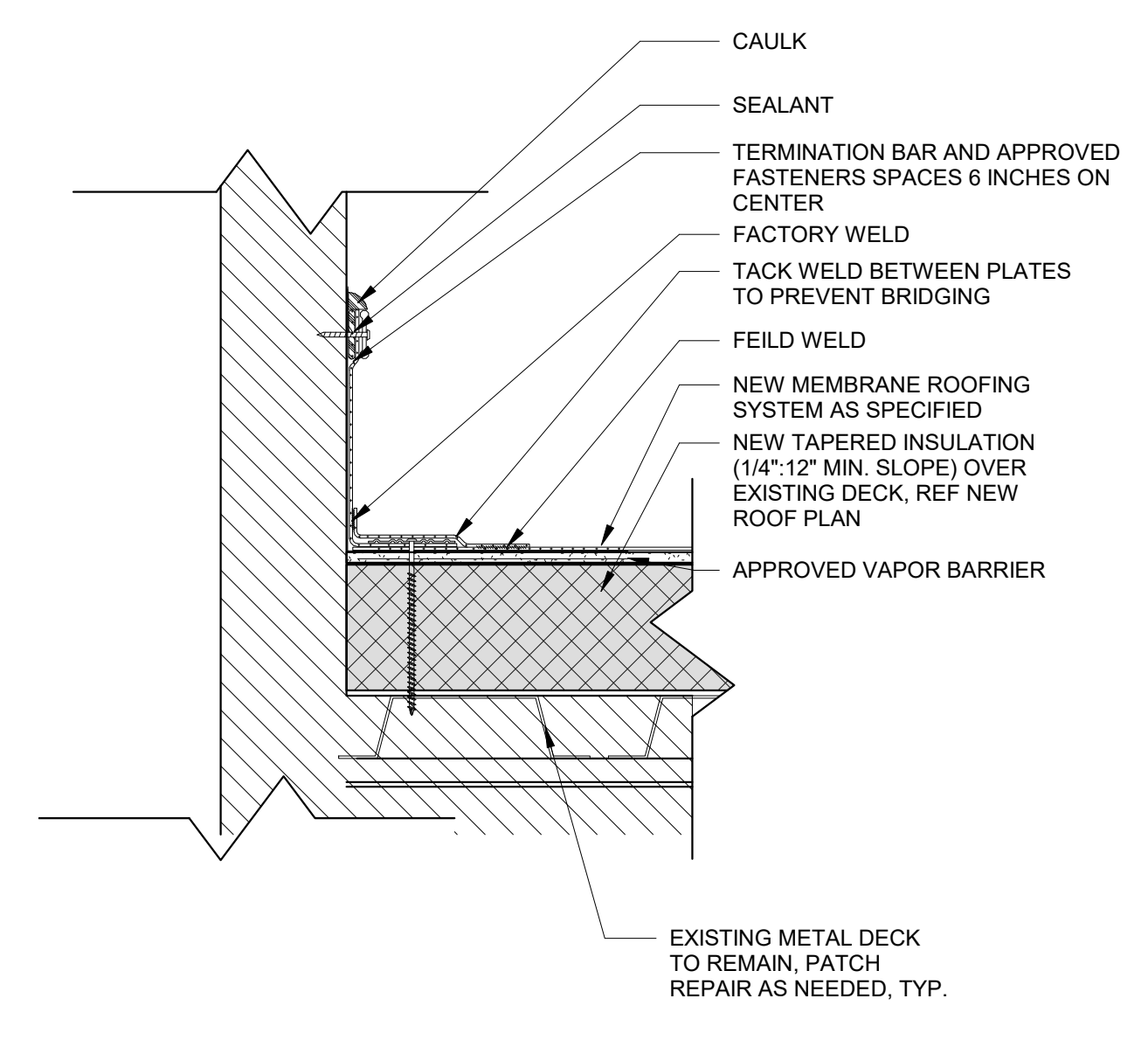
8 METAL ROOF SOFFIT
1 1/2" = 1'-0"



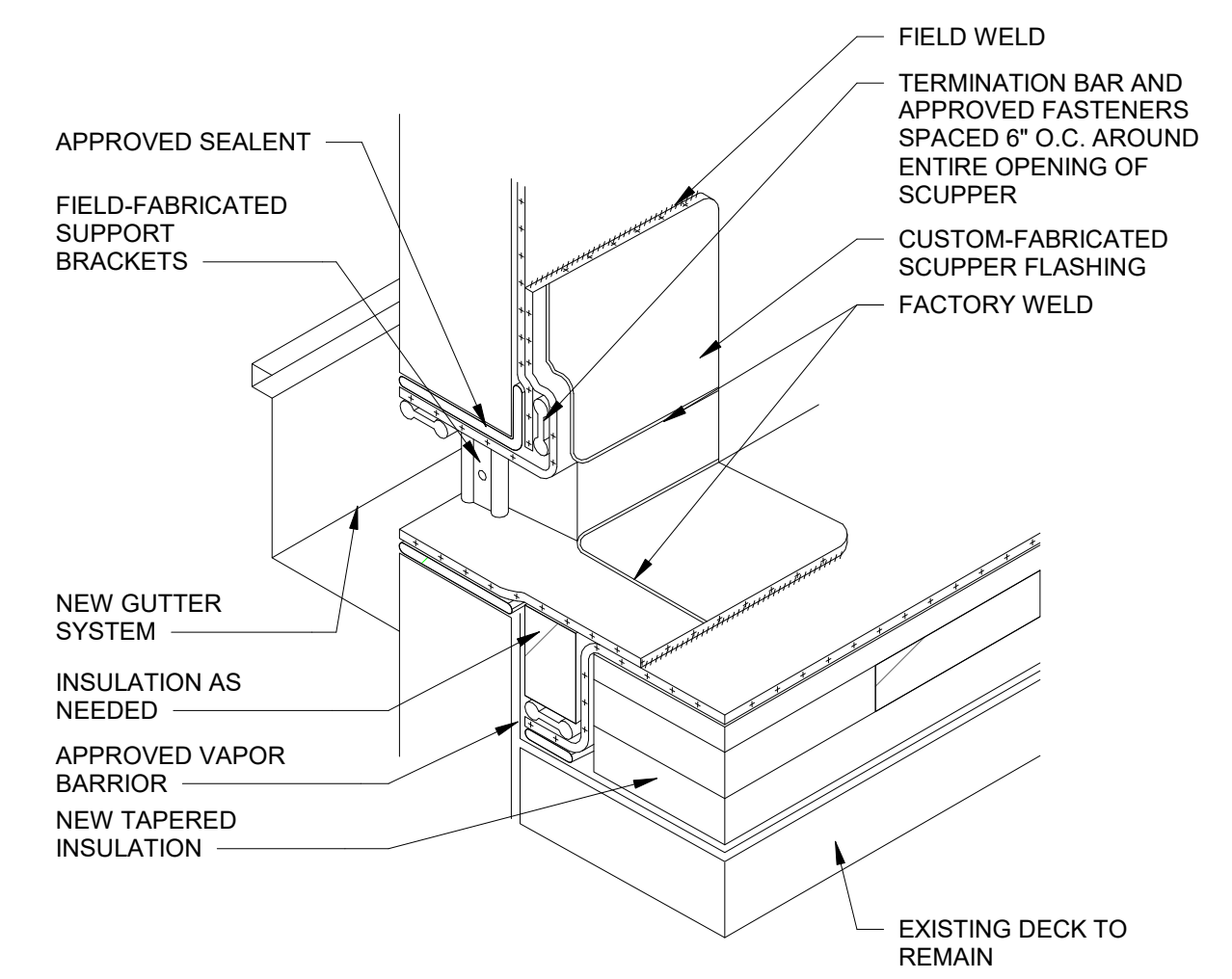
7 METAL VALLEY DETAIL
3" = 1'-0"



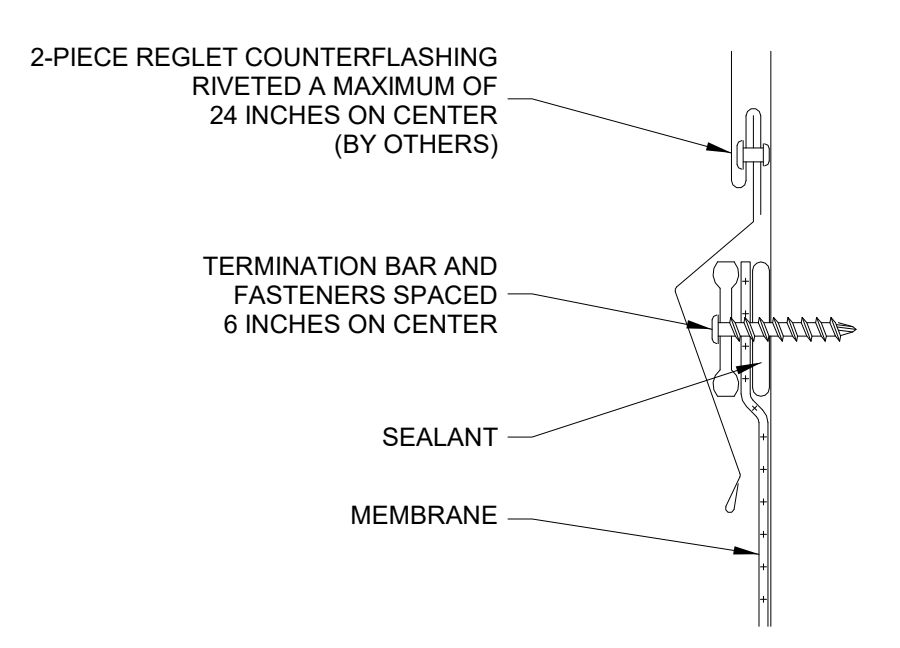
6 ROOF TO WALL DETAIL W/ SLANT
3" = 1'-0"



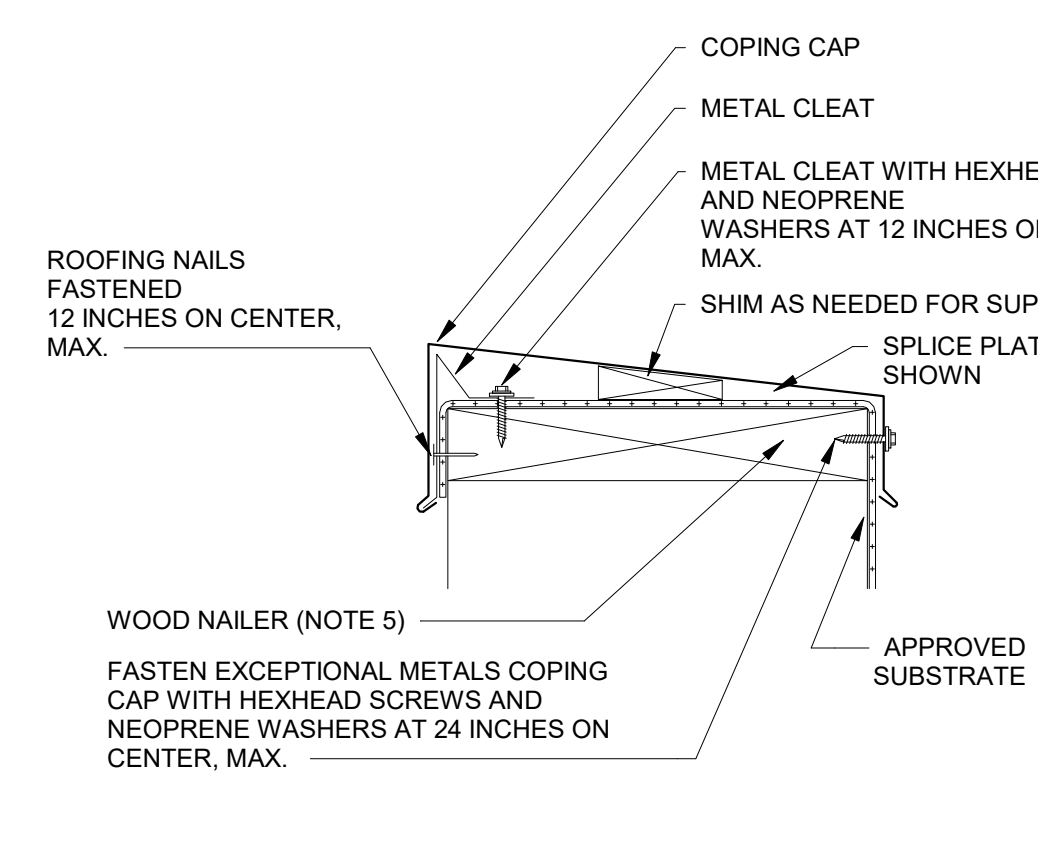
5 ROOF TO WALL DETAIL
3" = 1'-0"



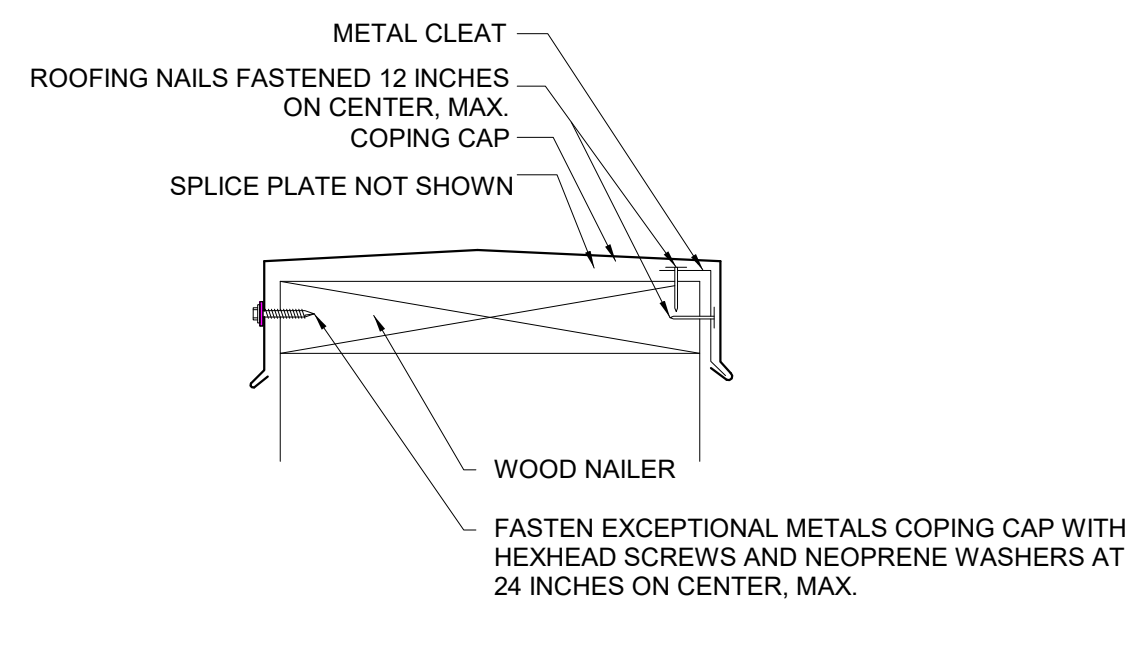
13 CLOSED END MEMBRANE SCUPPER
1 1/2" = 1'-0"



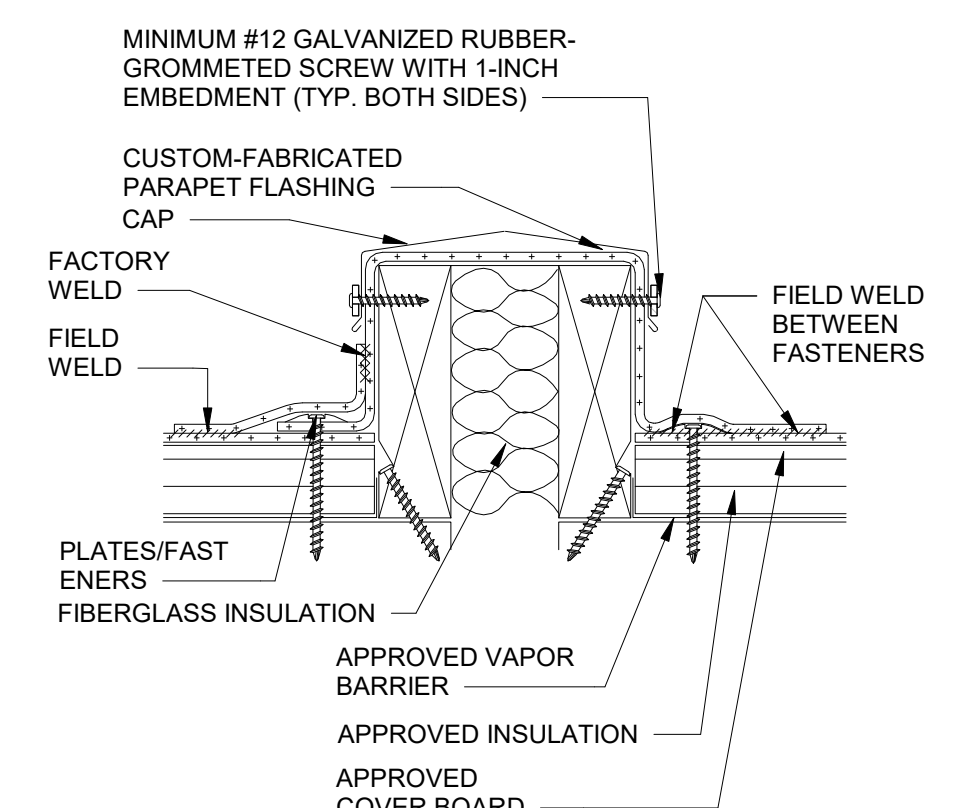
12 COUNTERFLASHING DETAIL
6" = 1'-0"



11 CANTED COPING WITH CONTINUOUS CLEAT
3" = 1'-0"



10 METAL COPING WITH CONTINUOUS CLEAT @ OUT WALL
3" = 1'-0"



9 CURB STYLE EXPANSION JOINT
3" = 1'-0"



1/16/19
REGISTERED ARCHITECT
JOSE C. GARZA III
STATE OF TEXAS
22658

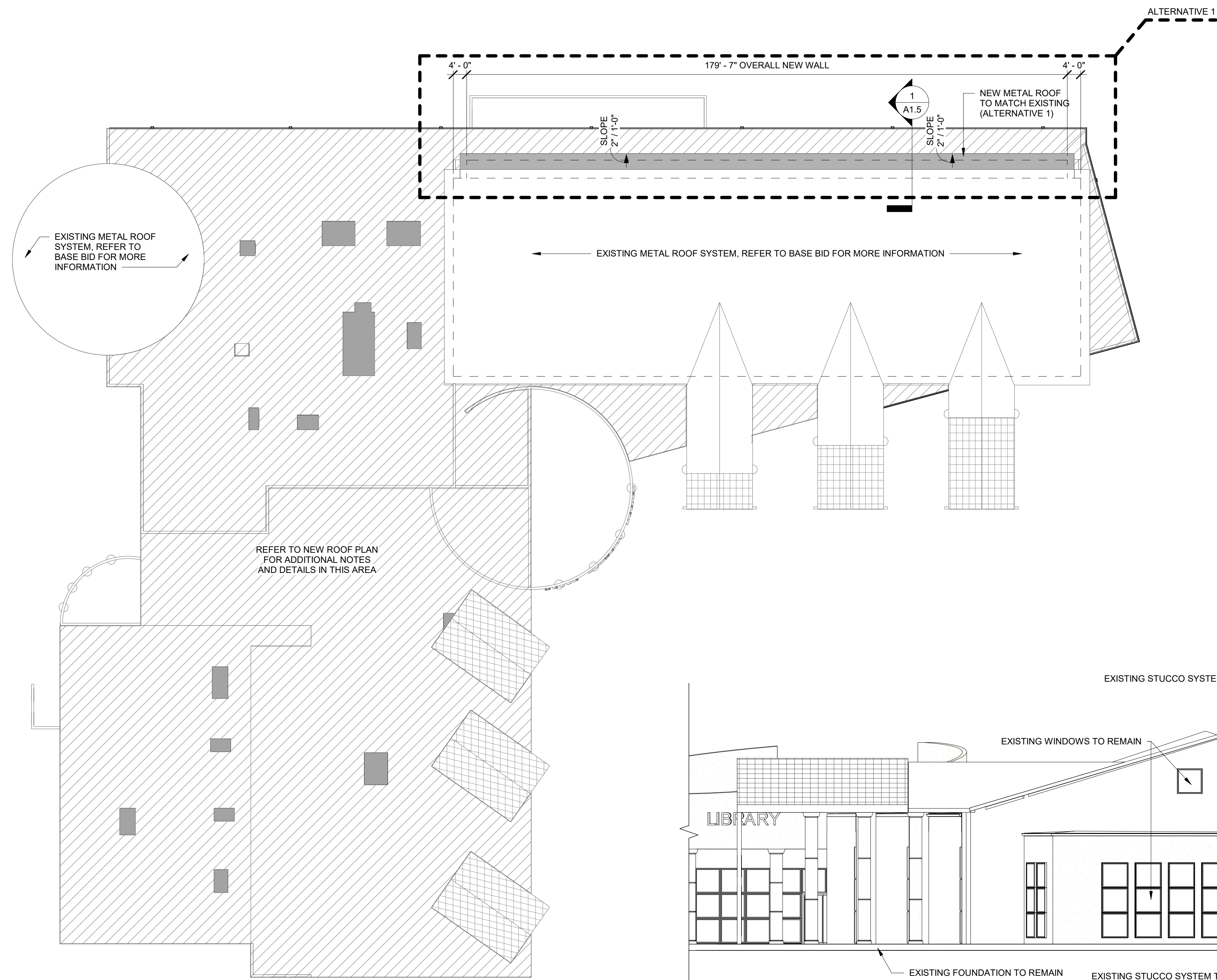
ROOF REPLACEMENT FOR SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM
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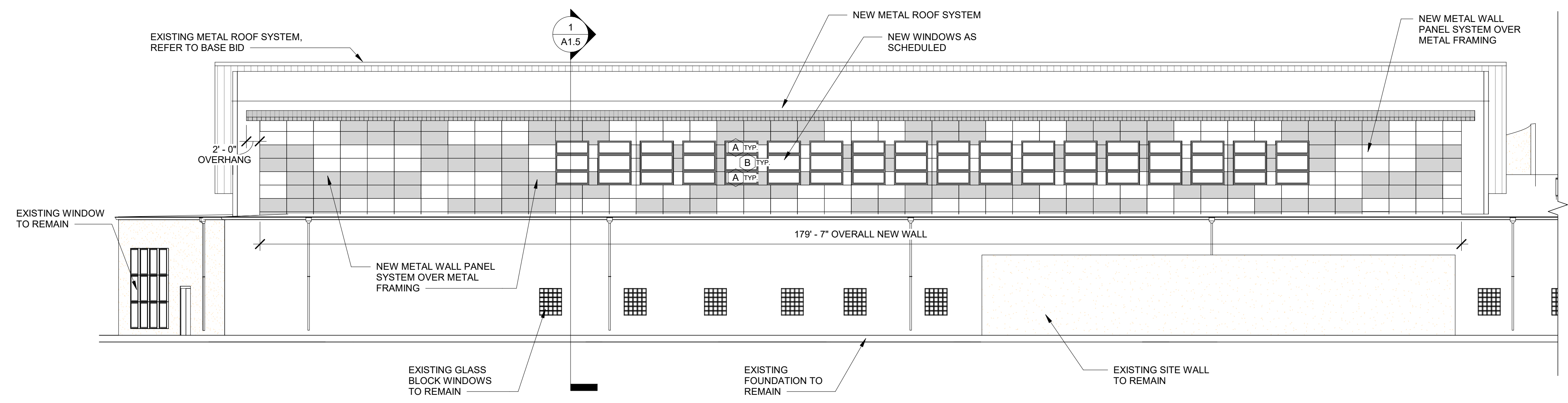
ROOF DETAILS (PHASE I)

A1.3



1 ALTERNATE No 1 - ROOF PLAN
1" = 20'-0"

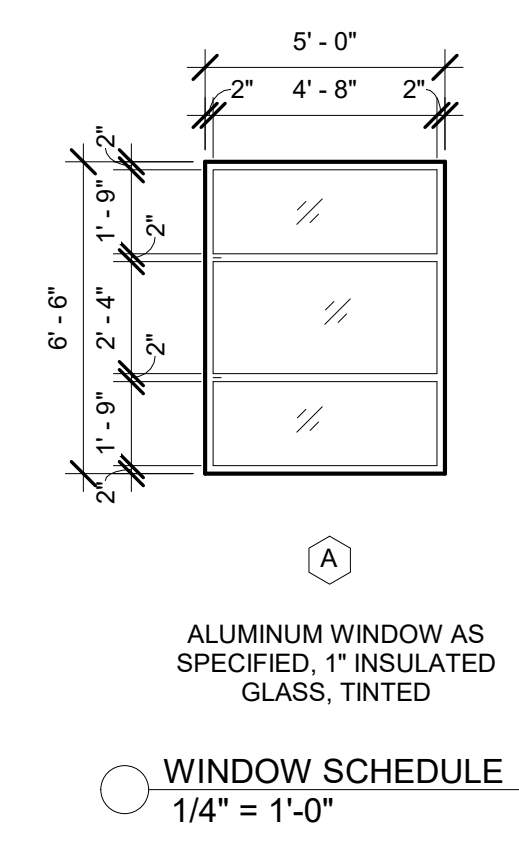
4 ALTERNATE No 1 - EAST ELEVATION
3/32" = 1'-0"



3 ALTERNATE No 1 - NORTH ELEVATION
3/32" = 1'-0"

ROOF GENERAL NOTES

- CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
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- UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY TO USE SYSTEM OR PRODUCT.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES, REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS.
- ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT TREATED.
- ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.
- PROVIDE PREFINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS.
- PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS.
- PROVIDE PRE-FINISHED GALVANIZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS.
- REFER TO MEP FOR EXPOSED PIPE AND ROOF EQUIPMENT SUPPORT, COORDINATED WITH ROOFING MANUFACTURER DETAILING FOR ROOF WARRANTY ADHERENCE.
- GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND BUILDING SERVICE SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE. IF ANY SYSTEM IS DAMAGED DURING CONSTRUCTION OR FOR PREPARATION OF NEW CONSTRUCTION, CONTRACTOR SHALL PATCH/REPAIR DAMAGED SYSTEM TO EXISTING CONDITION.
- GENERAL CONTRACTOR SHALL PROVIDE EXTRA CARE TO PREVENT DAMAGE TO EXISTING CONCRETE WALKS, ASPHALT/CONCRETE DRIVE/PARKING AREAS, OR LANDSCAPE AREAS OUTSIDE OF CONSTRUCTION LIMITS, AND ALL DAMAGE SHALL BE PATCHED/REPAIRED TO EXISTING CONDITION.
- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR TO CAREFULLY REMOVE, SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REMOVED TO PROVIDE NEW ROOFING SYSTEM, ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION.
- GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL.



10/1/19
10/1/19

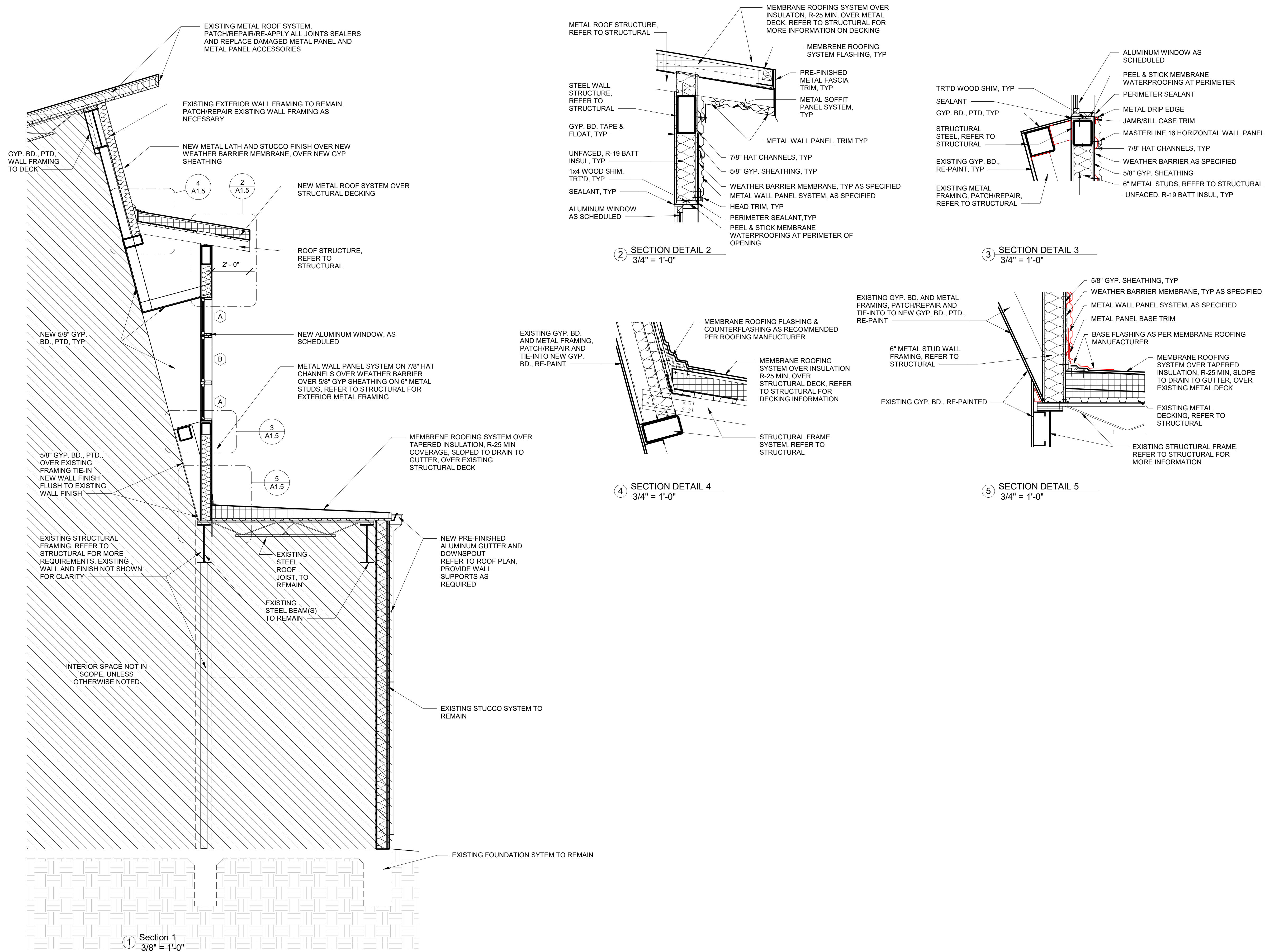
ROOF REPLACEMENT FOR
SPEER MEMORIAL LIBRARY
AND MISSION HISTORICAL
MUSEUM
RFP: 20-074-12-19 MISSION, TX

REVISION:

DRAWN BY: CG3
CHECKED BY: CG3
DATE: 10/16/19

ALTERNATE
No 1 ROOF
PLAN AND
ELEVATIONS

A1.4



10/16/19
 [Signature]

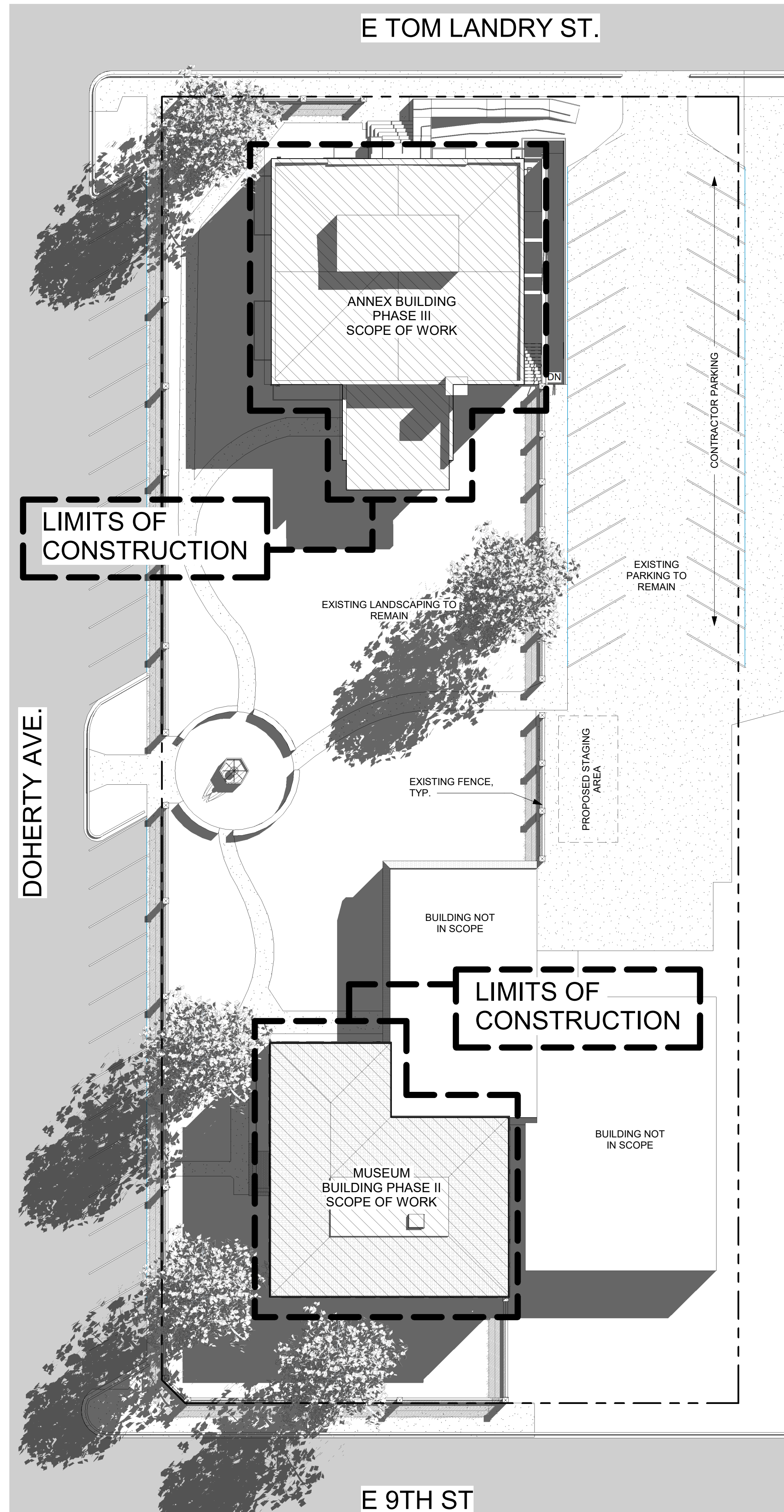
ROOF REPLACEMENT FOR
 SPEER MEMORIAL LIBRARY
 AND MISSION HISTORICAL
 MUSEUM
 RFP: 20-074-12-19 MISSION, TX

REVISION:

 DRAWN BY: Author
 CHECKED BY: Checker
 DATE: 10/08/19

ALTERNATE
 No 1 WALL
 SECTION
 AND
 DETAILS

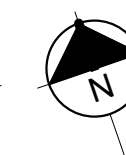
A1.5



SITE GENERAL NOTES:

1. THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS PIPELINES, UTILITIES ECT. WHETHER PUBLICLY OR PRIVATELY OWNED.
2. G.C. SHALL REPAIR ALL ASPHALT PAVING AND CONCRETE CURB, GUTTER, SIDEWALK, DRAINAGE, LANDSCAPING, OR ANY STRUCTURES DAMAGED DURING CONSTRUCTION.
3. G.C. TO COORDINATE WORK WITH OWNER REPRESENTATIVE AND ARCHITECT.

① OVERALL SITE PLAN
1" = 20'-0"



ARKiiFORM
ARCHITECTURE + MANAGEMENT
810 N Alton Blvd, Alton, Texas 78573
1320 W Nolana, McAllen, Texas 78501
956.238.2438 956.221.7240
www.arkiiiform.com arkiiiform@arkiiiform.com

HINOJOSA ENGINEERING, INC.
STRUCTURAL ENGINEERING
CIVIL ENGINEERING
MISSION, TEXAS
108 W. 18TH ST. MISSION, TEXAS 78572
(956) 581-0143 FAX: (956) 581-2071
E-MAIL: HinojosaEng@aol.com
REGISTRATION NUMBER 1908 EXPIRATION DATE 09/30/2019



ROOF REPLACEMENT FOR
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OVERALL
SITE PLAN

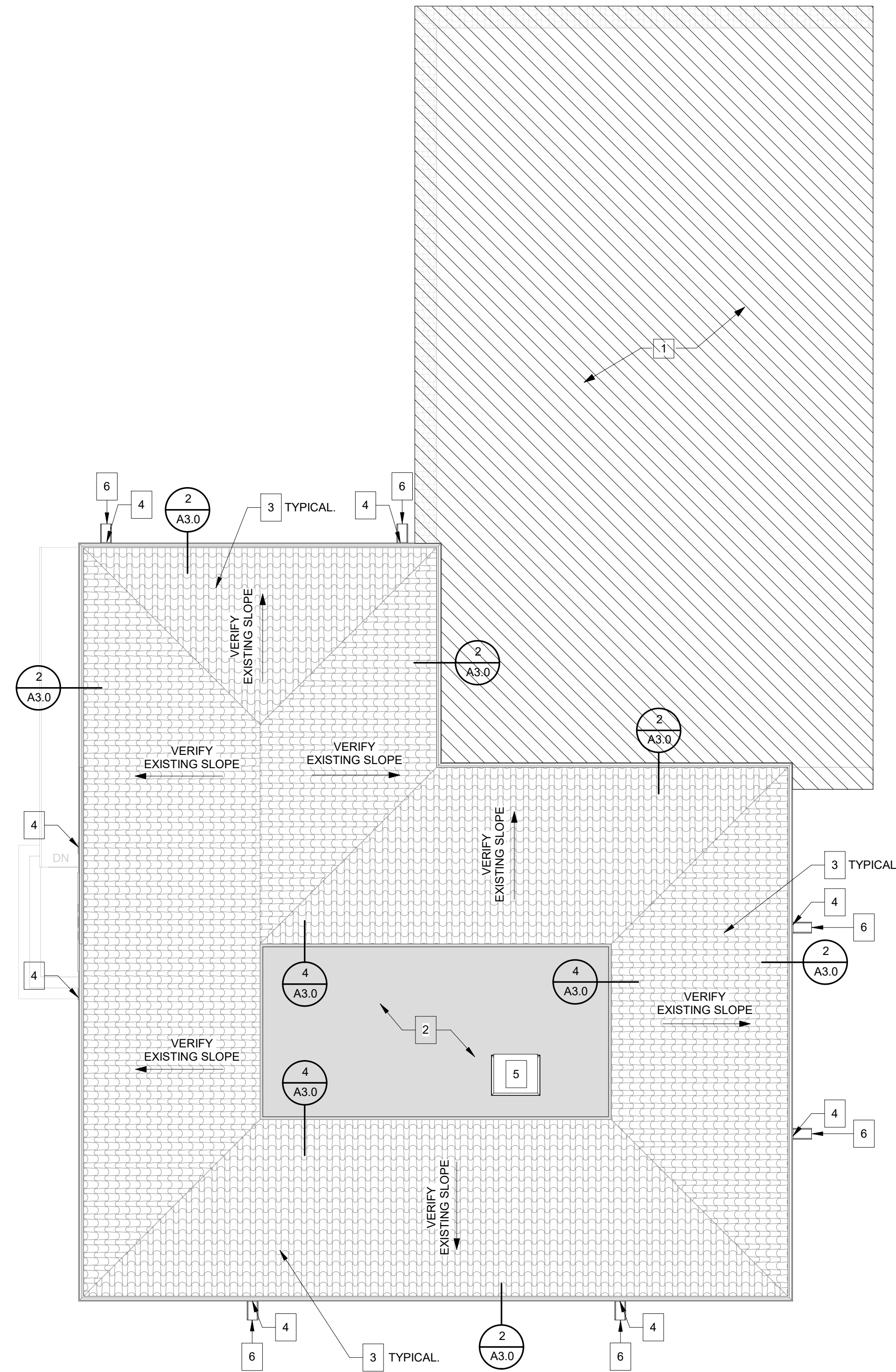
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ROOF GENERAL NOTES

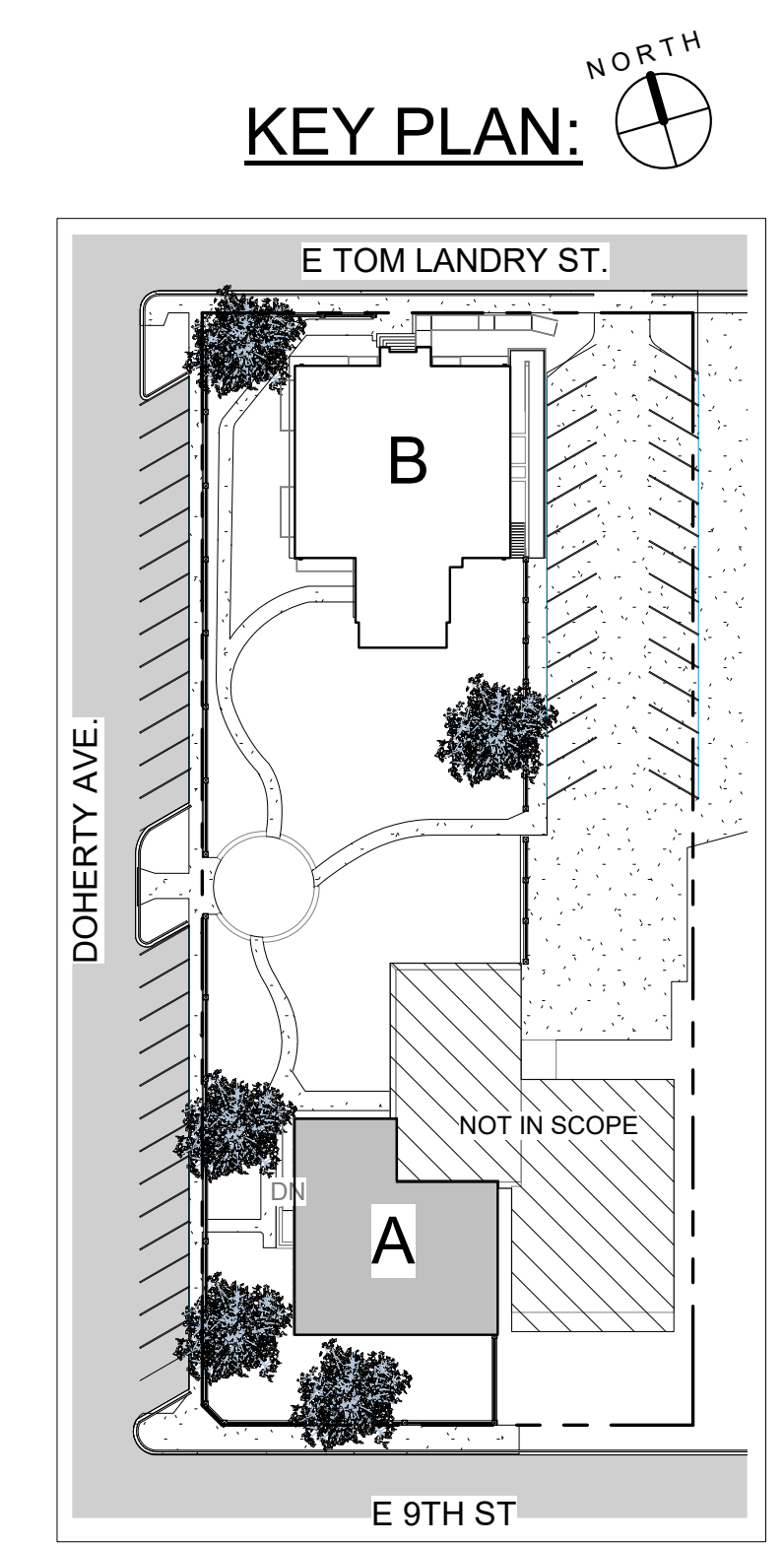
- CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
- DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.
- UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE.
- THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY TO USE SYSTEM OR PRODUCT.
- GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES, REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS.
- ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT TREATED.
- ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.
- PROVIDE PREFINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS.
- PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS.
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- GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND ARCHITECT.
- GENERAL CONTRACTOR TO CAREFULLY REMOVE SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REVOKED TO PROVIDE NEW ROOFING SYSTEM, ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION.
- GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL.

KEYNOTES

- | | | |
|---|--|---|
| 1 | ROOF NOT IN SCOPE OF WORK |  |
| 2 | NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK. | |
| 3 | NEW CLAY TILE ROOF SYSTEM OVER WEATHER PROOFING MEMBRANE OVER EXISTING DECK | |
| 4 | REINSTALL SALVAGED GUTTER AND DOWNSPOUT SYSTEM TO EXISTING LEADER BOX. SECURE AND SUPPORT TO BUILDING AS REQ. EXTEND DOWNSPOUTS AT BASE TO NEW SPLASH BLOCK. | |
| 5 | NEW ROOF ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING | |
| 6 | NEW CONCRETE SPLASH BLOCK | |



1 NEW ROOF PLAN - BUILDING "A"
1/8" = 1'-0"
0' 8' 16'



10/16/19

[Signature]

**ROOF REPLACEMENT FOR
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 AND MISSION HISTORICAL
 MUSEUM**
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REVISION:

DRAWN BY: HM
 CHECKED BY: CG3
 DATE: 10-16-19


**NEW ROOF
 PLAN -
 BUILDING
 "A"
 (PHASE II)**

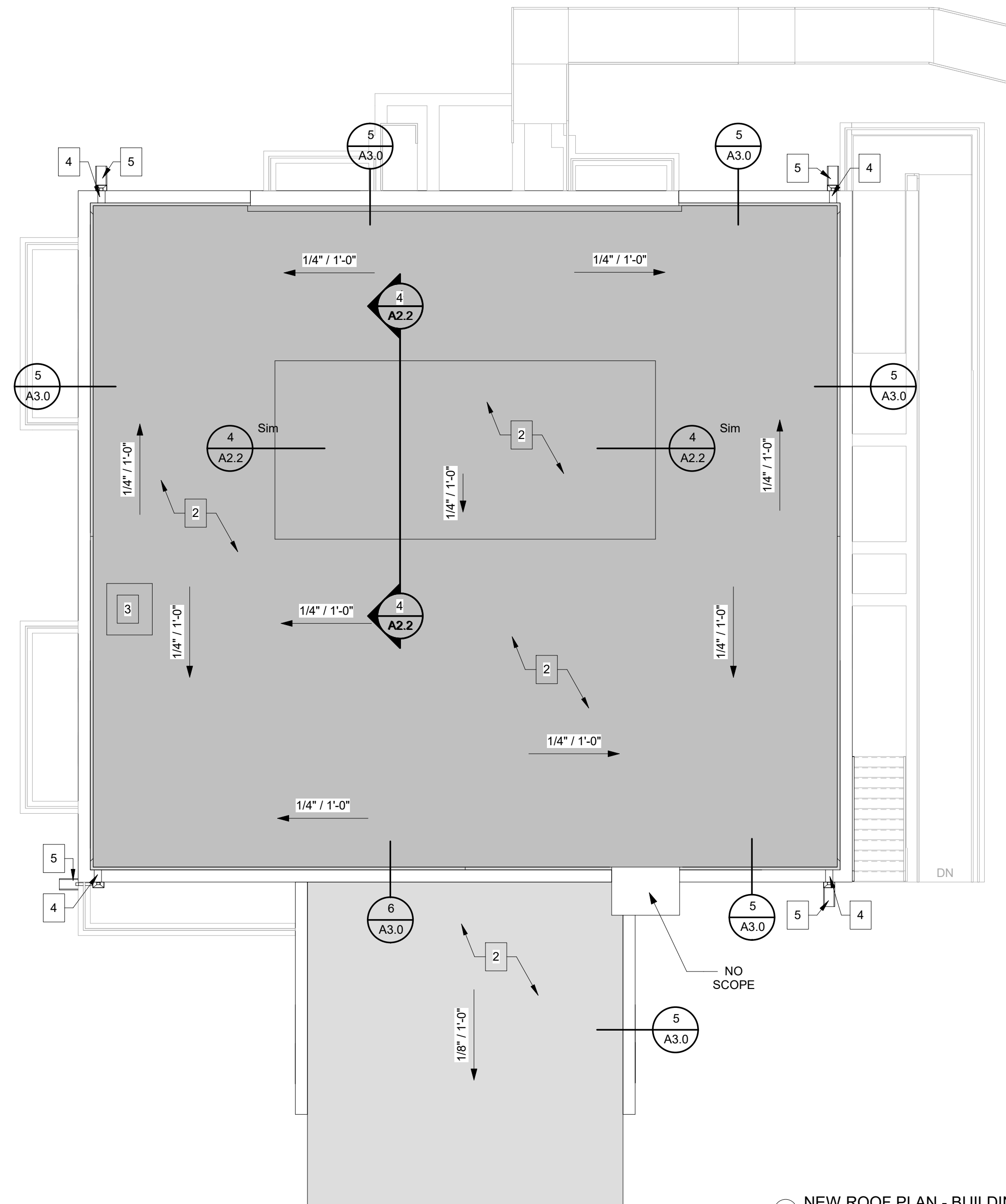
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ROOF GENERAL NOTES

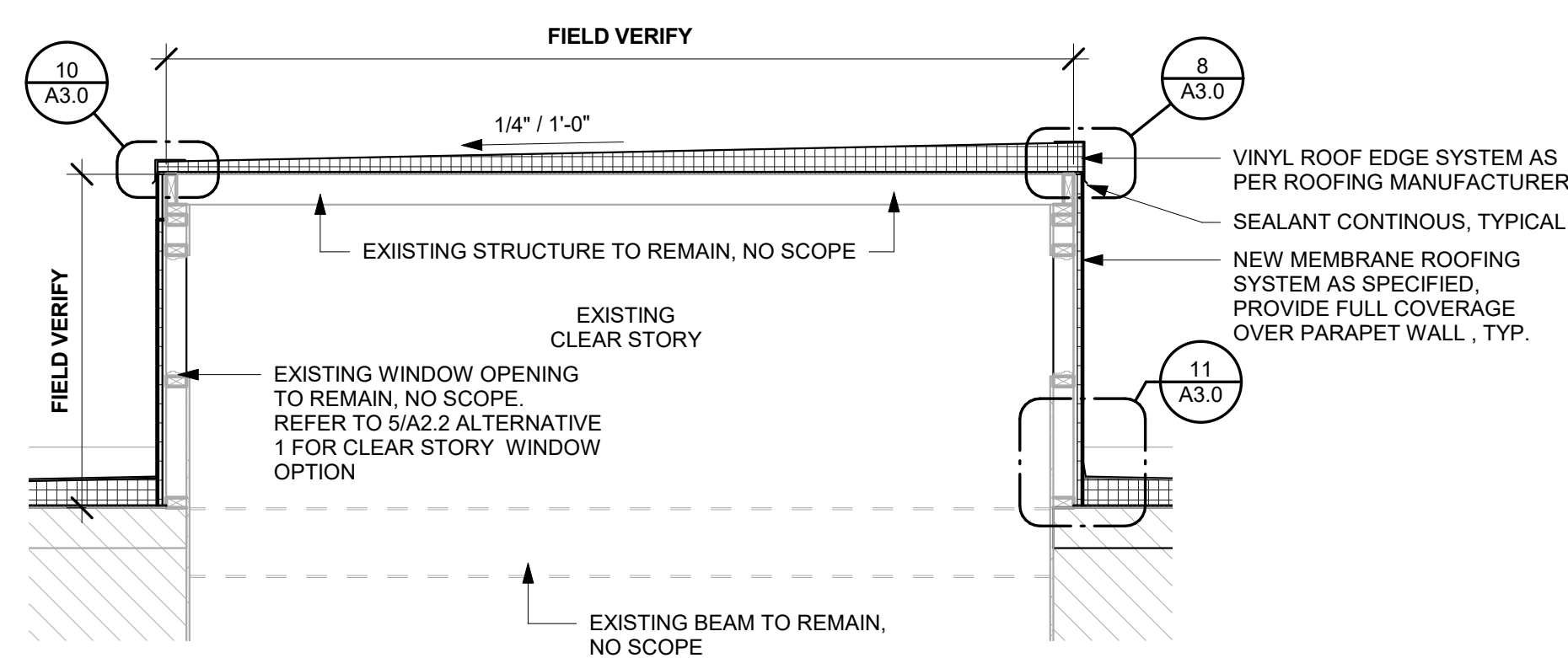
1. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.
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8. PROVIDE PREFINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS.
9. PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS.
10. PROVIDE PREFINISHED GALVANIZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS.
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16. GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL.

KEYNOTES

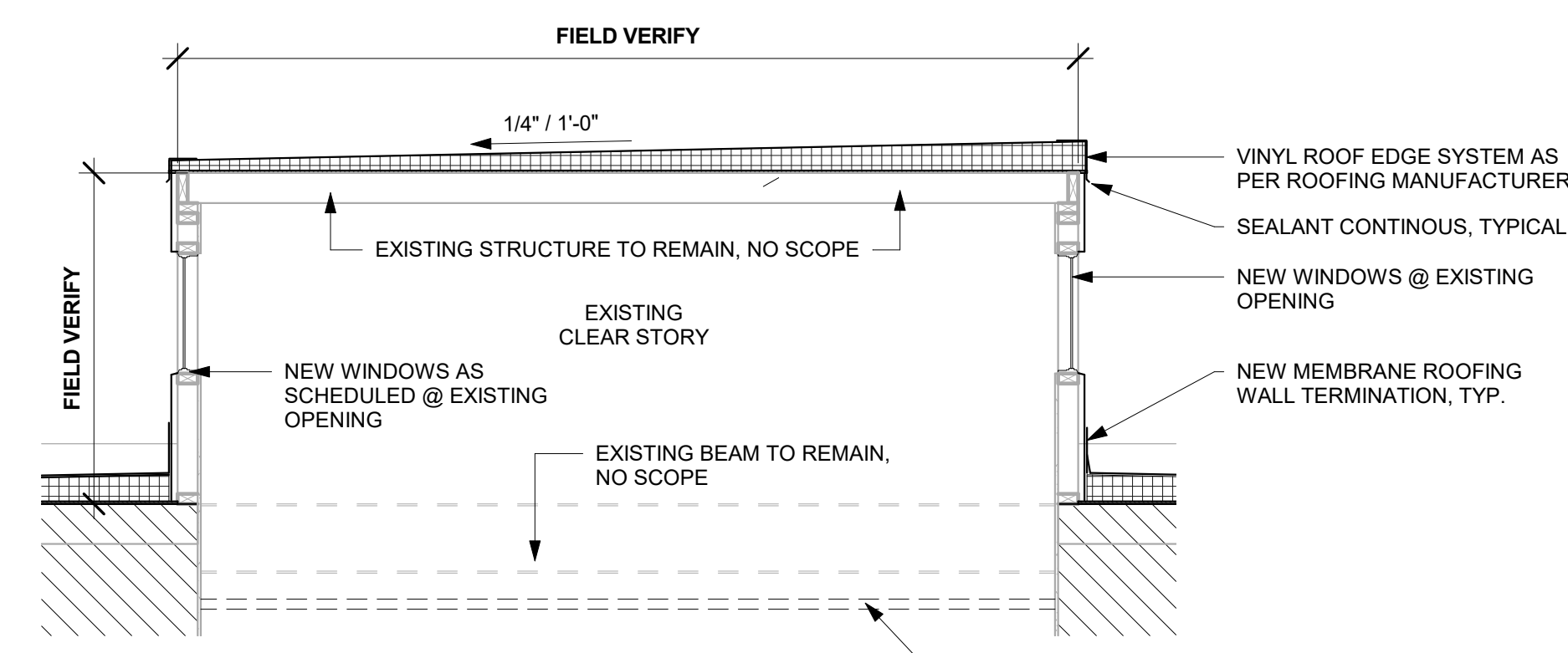
- 1 ROOF NOT IN SCOPE OF WORK 
- 2 NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK.
- 3 NEW ROOF ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING, REFER TO 1/A3.1
- 4 NEW PRE-FINISHED ALUMINUM SCUPPER WITH DOWNSPOUT. SECURE AND SUPPORT TO BUILDING AS REQ.
- 5 NEW CONCRETE SPLASH BLOCK



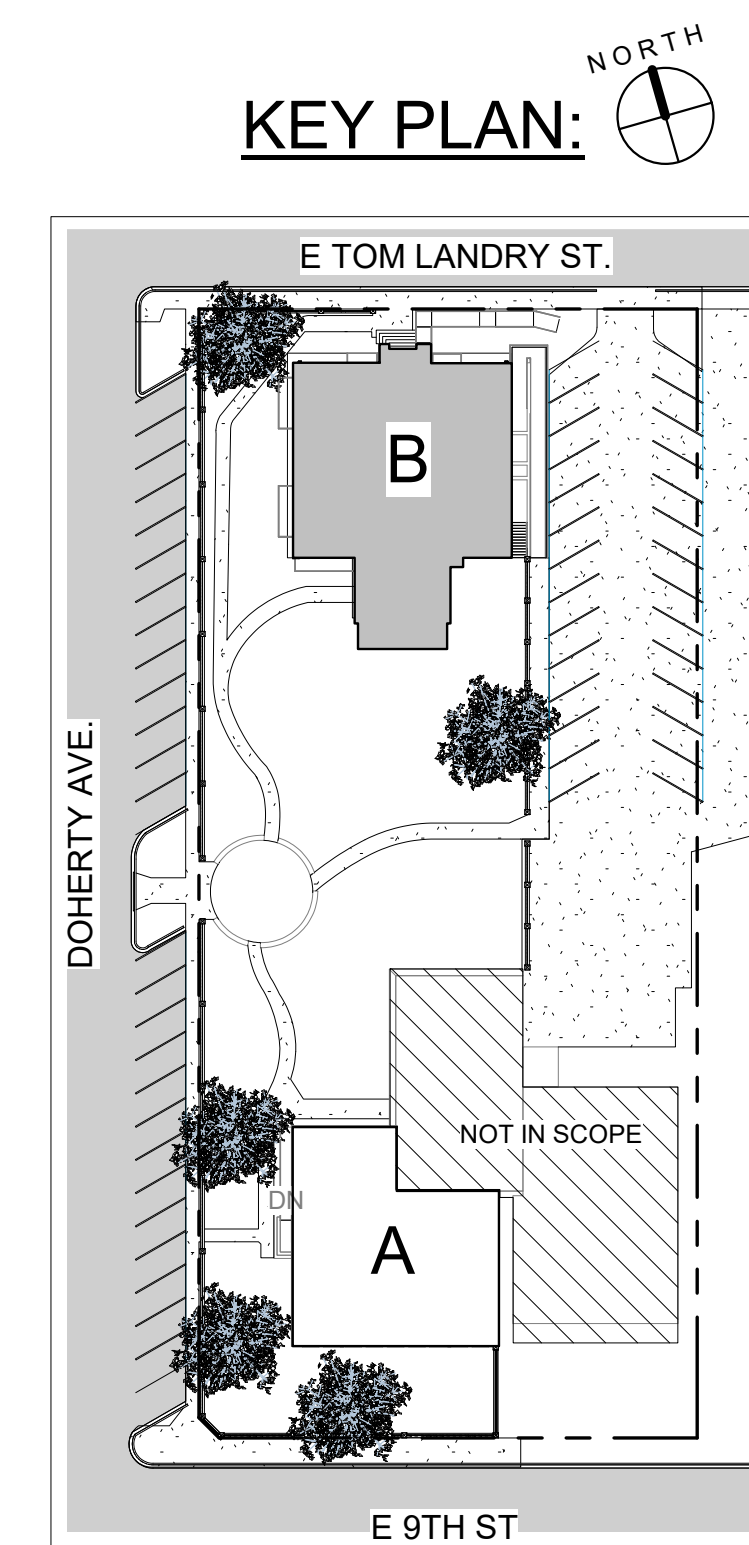
1 NEW ROOF PLAN - BUILDING "B"
1/8" = 1'-0"



4 CLEAR STORY
3/8" = 1'-0"



5 CLEAR STORY - ALTERNATIVE 1
3/8" = 1'-0"



01/13/19
[Signature]

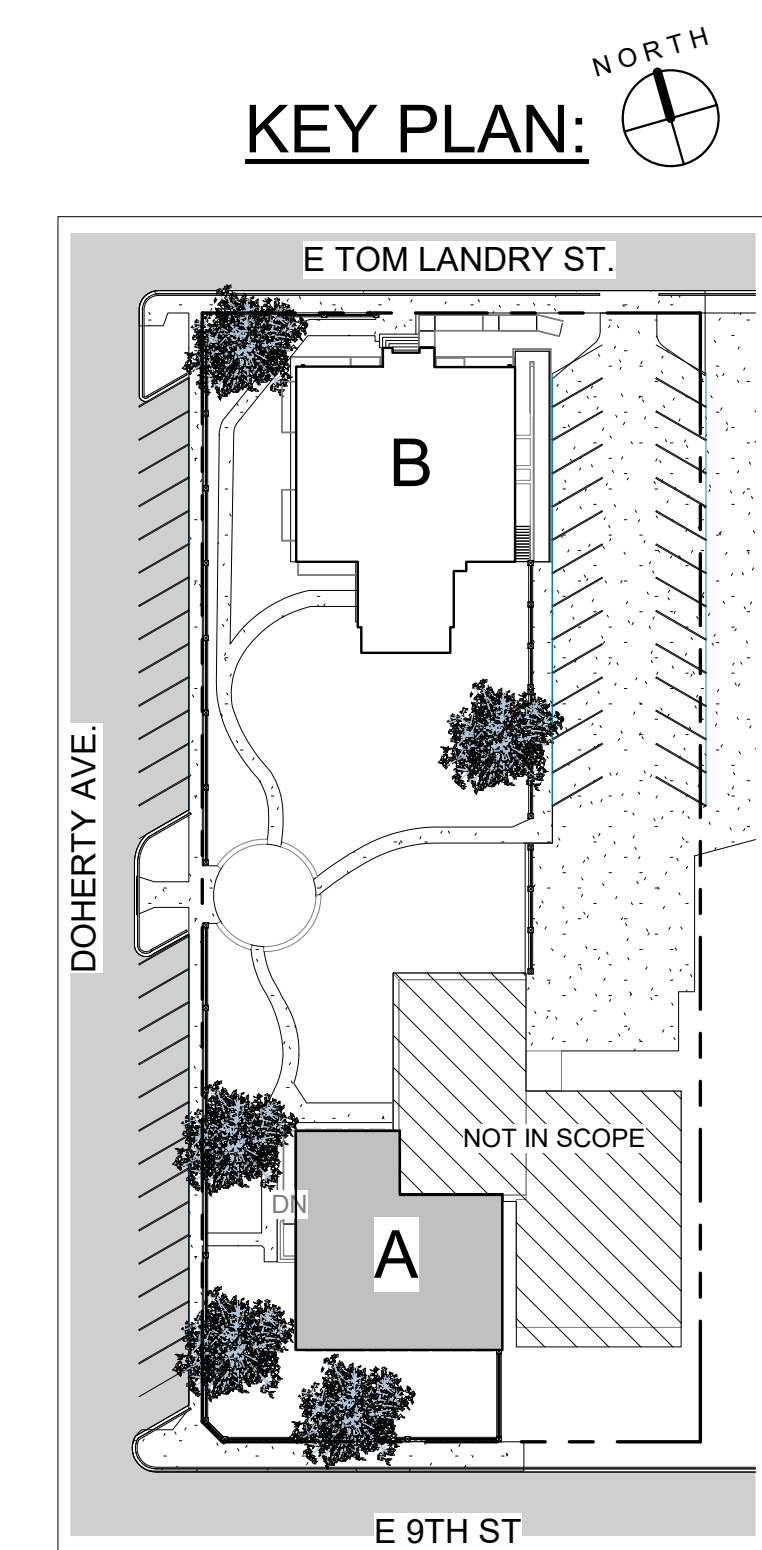
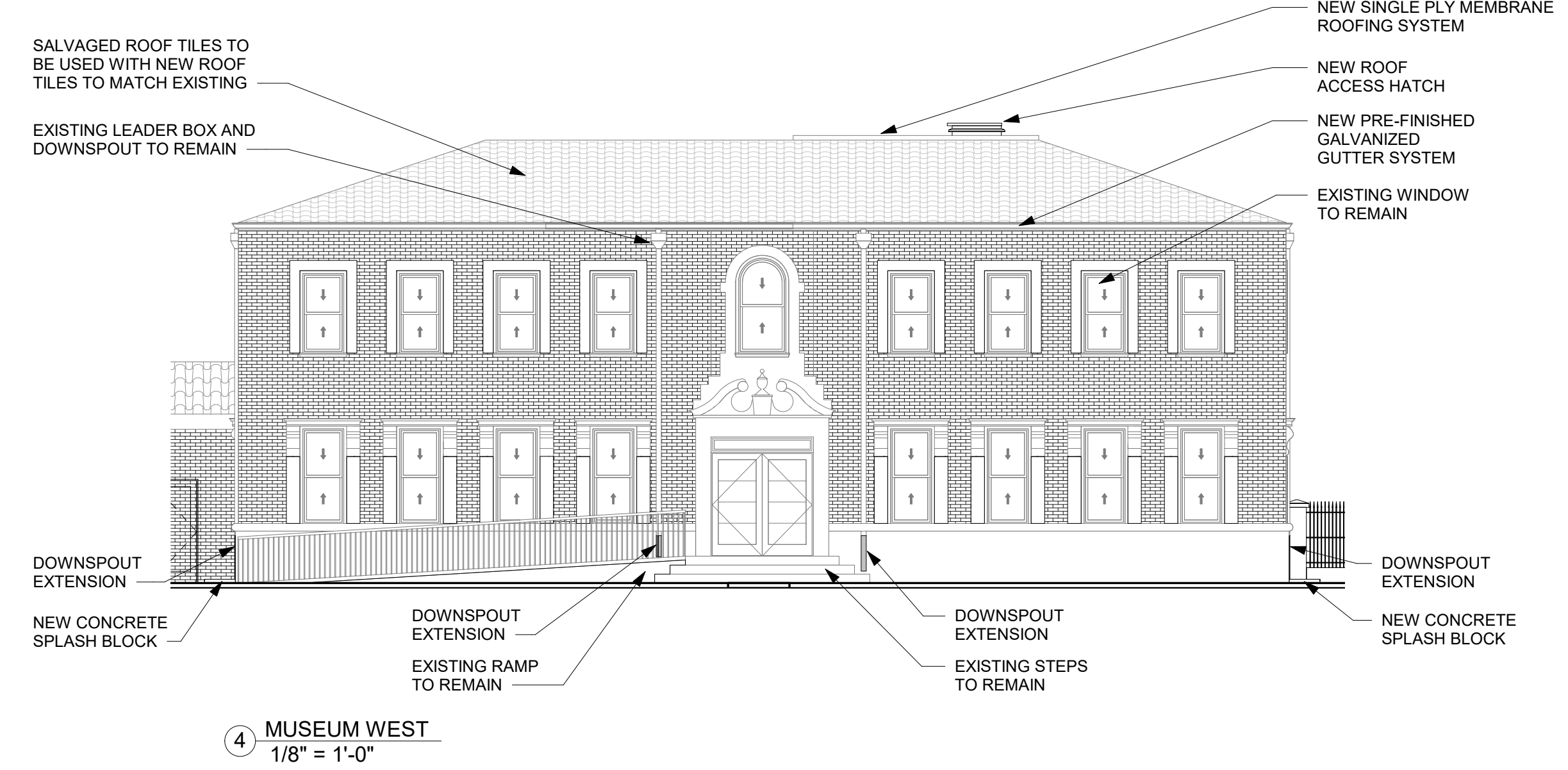
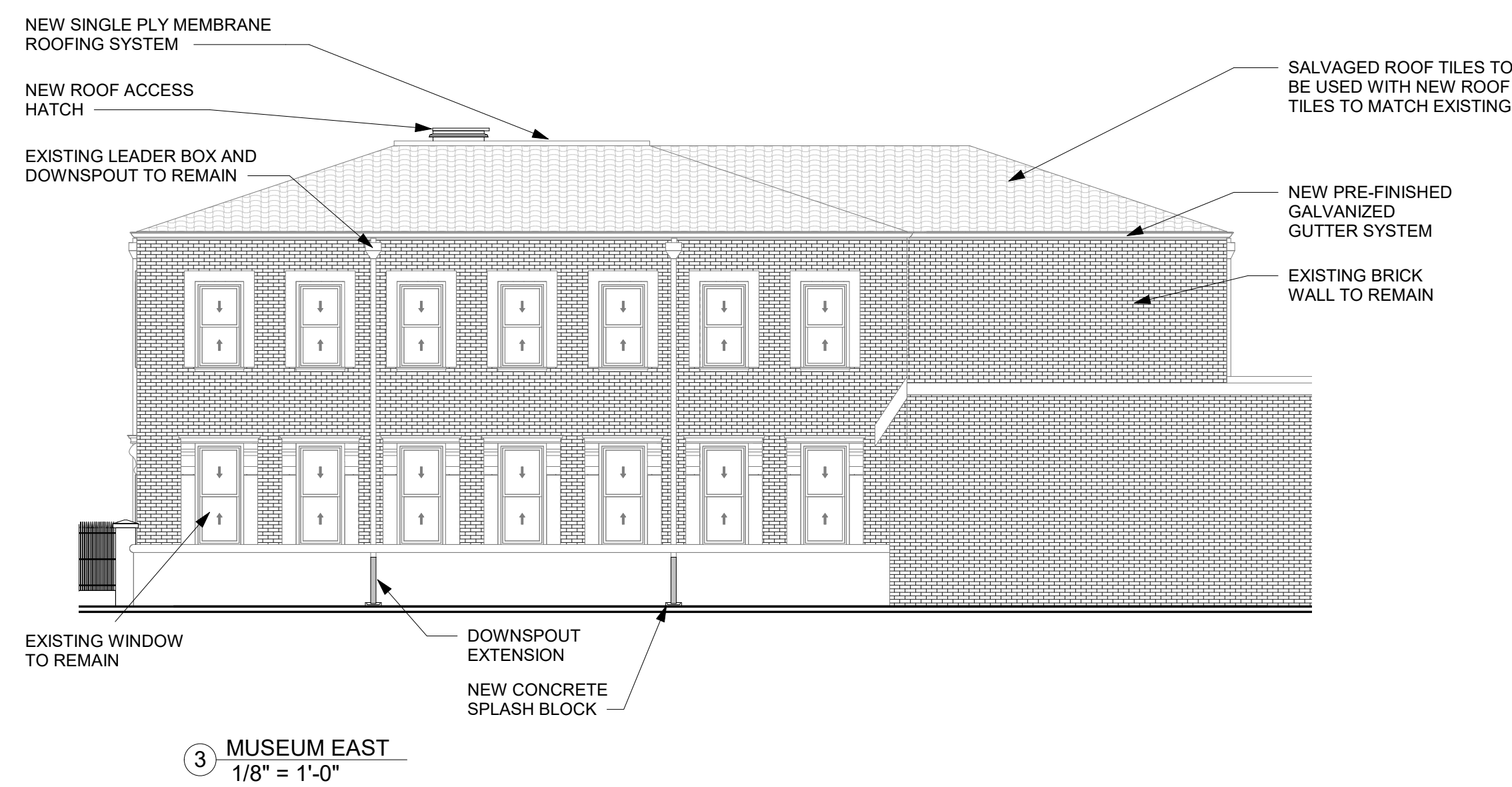
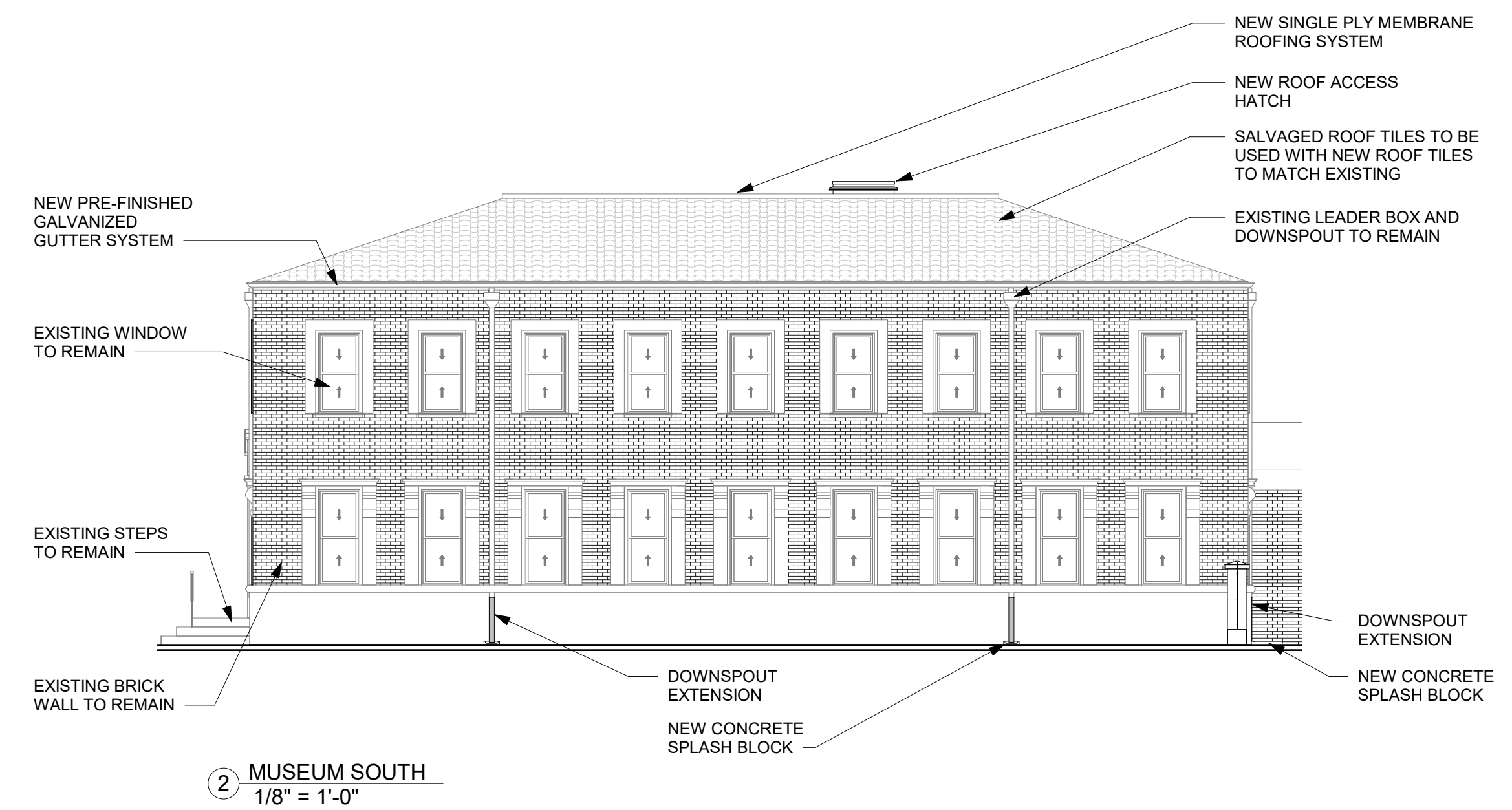
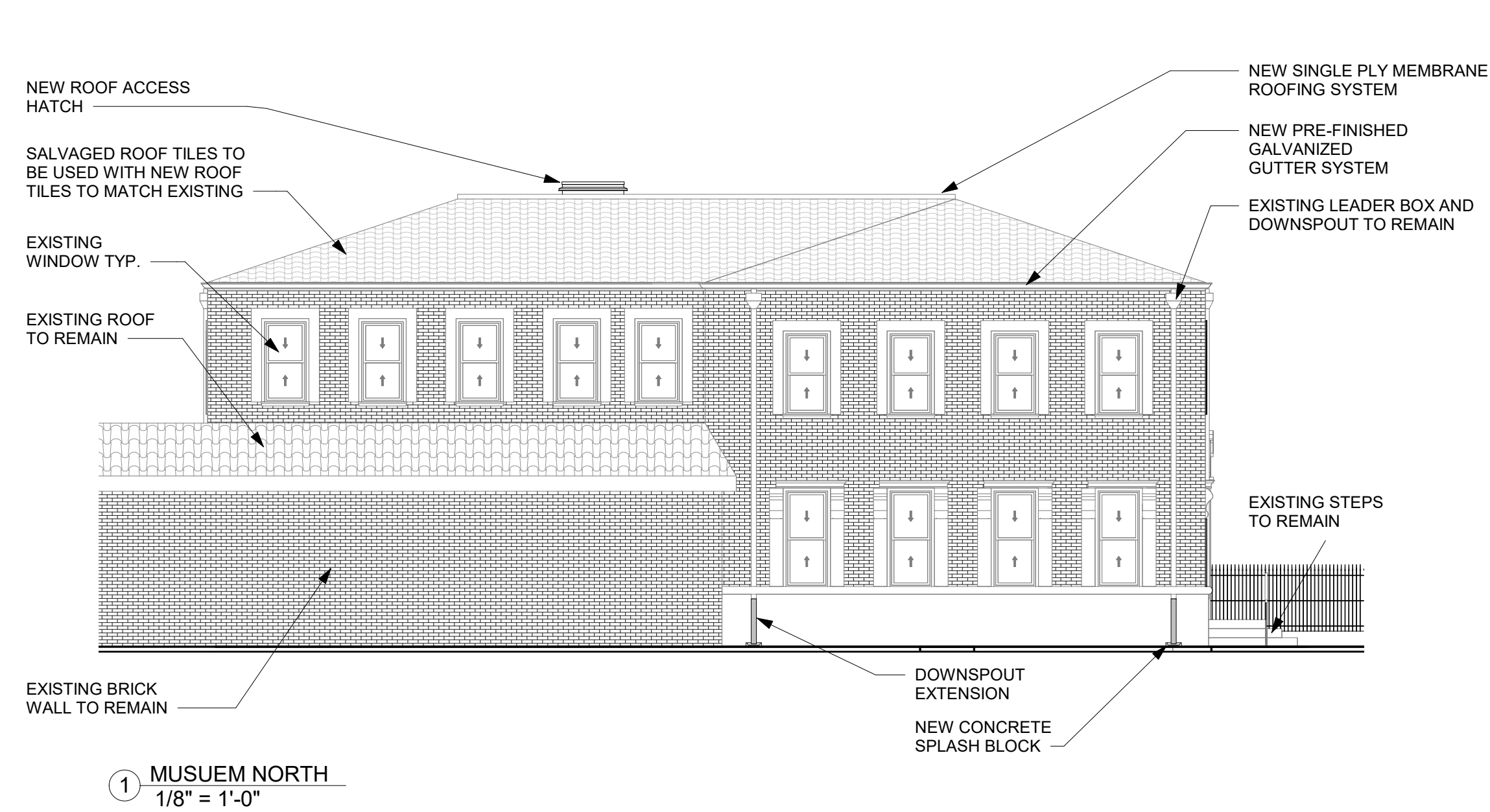
ROOF REPLACEMENT FOR
SPEER MEMORIAL LIBRARY
AND MISSION HISTORICAL
MUSEUM
RFP: 20-074-12-09 MISSION, TX 78572

REVISION:

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DATE: 10-16-19

NEW ROOF
PLAN -
BUILDING
"B"
(PHASE III)

A2.2



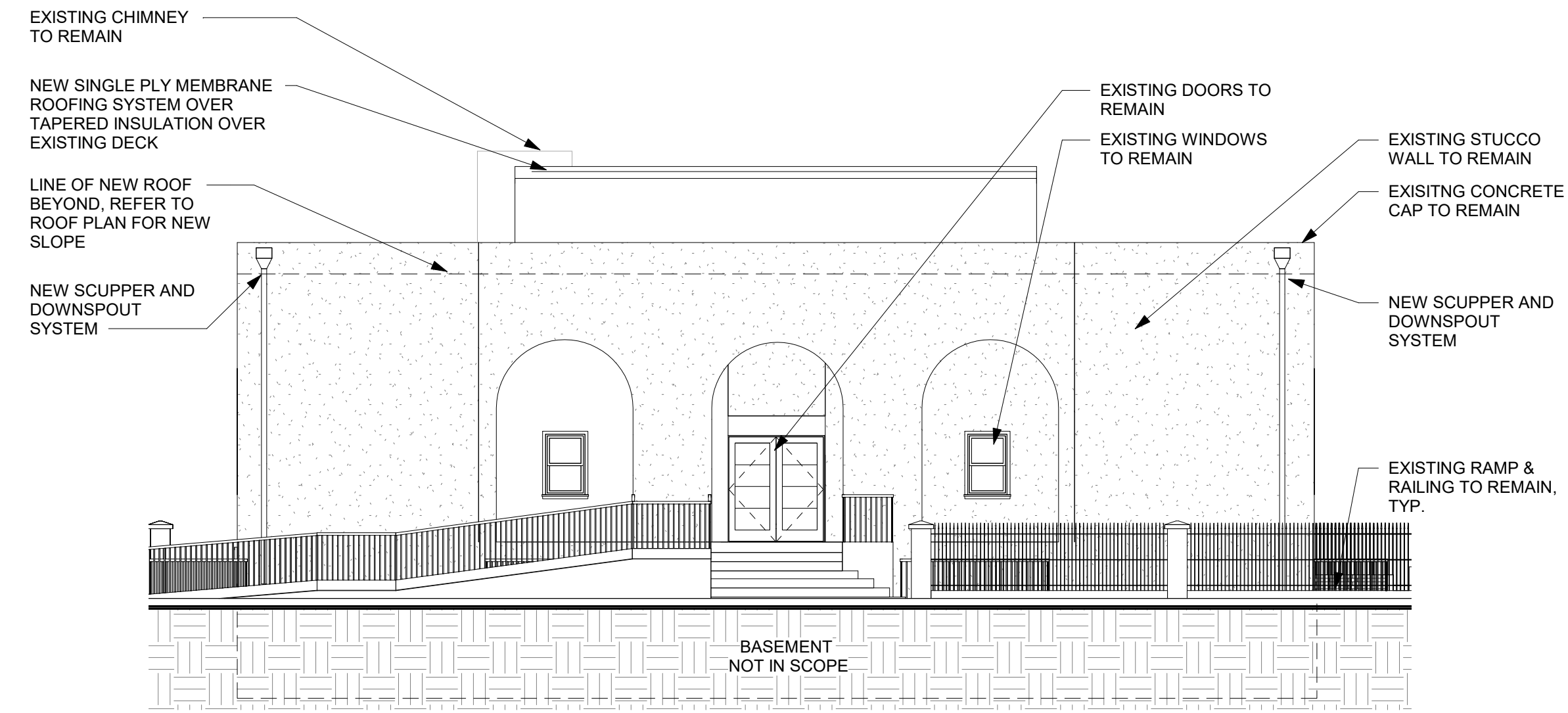
**ROOF REPLACEMENT FOR
SPEER MEMORIAL LIBRARY
AND MISSION HISTORICAL
MUSEUM**
RFP: 20-074-12-09 MISSION, TX 78572

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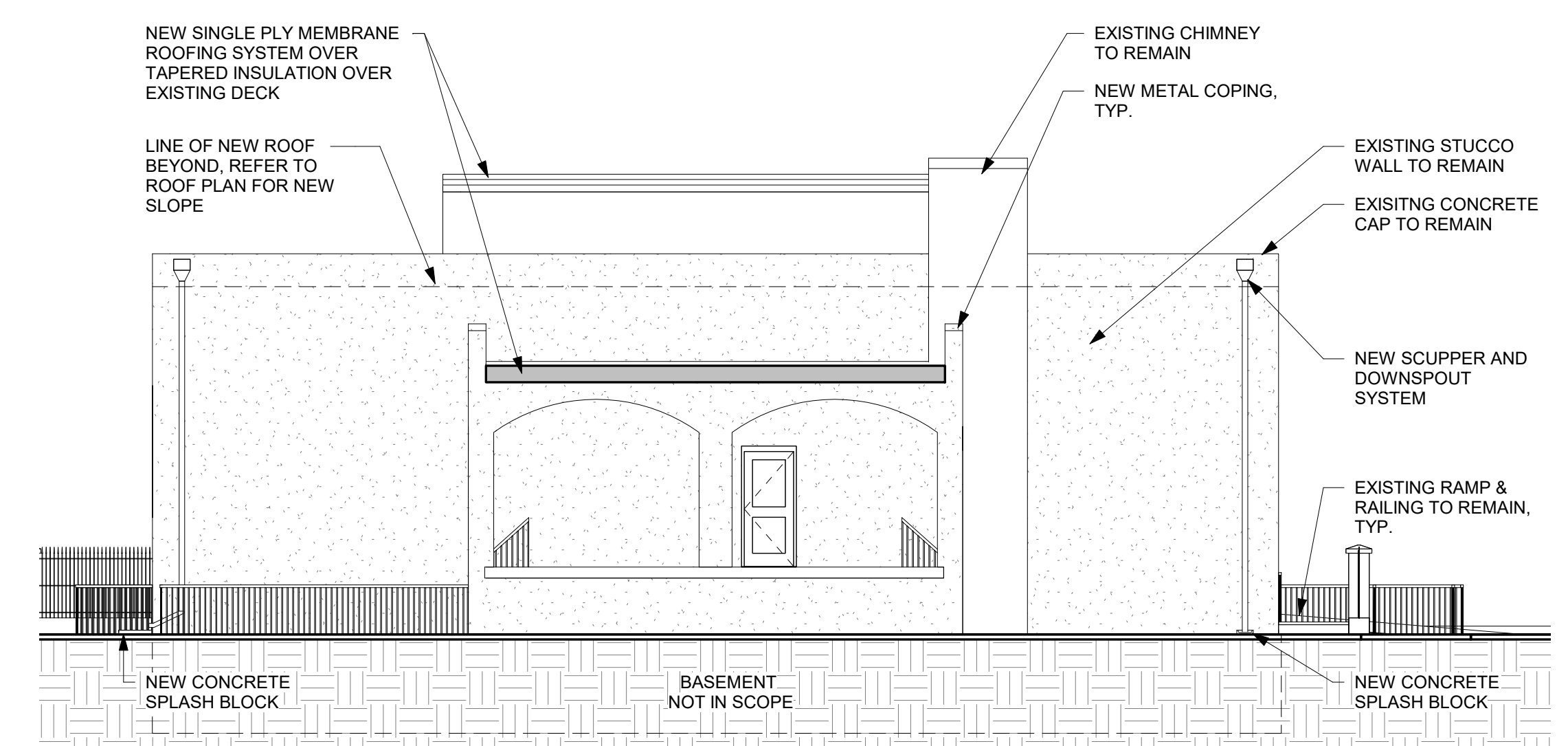
DRAWN BY: HM
CHECKED BY: CG3
DATE: 10-16-19

**ELEVATIONS
- BUILDING
"A"
(PHASE II)**

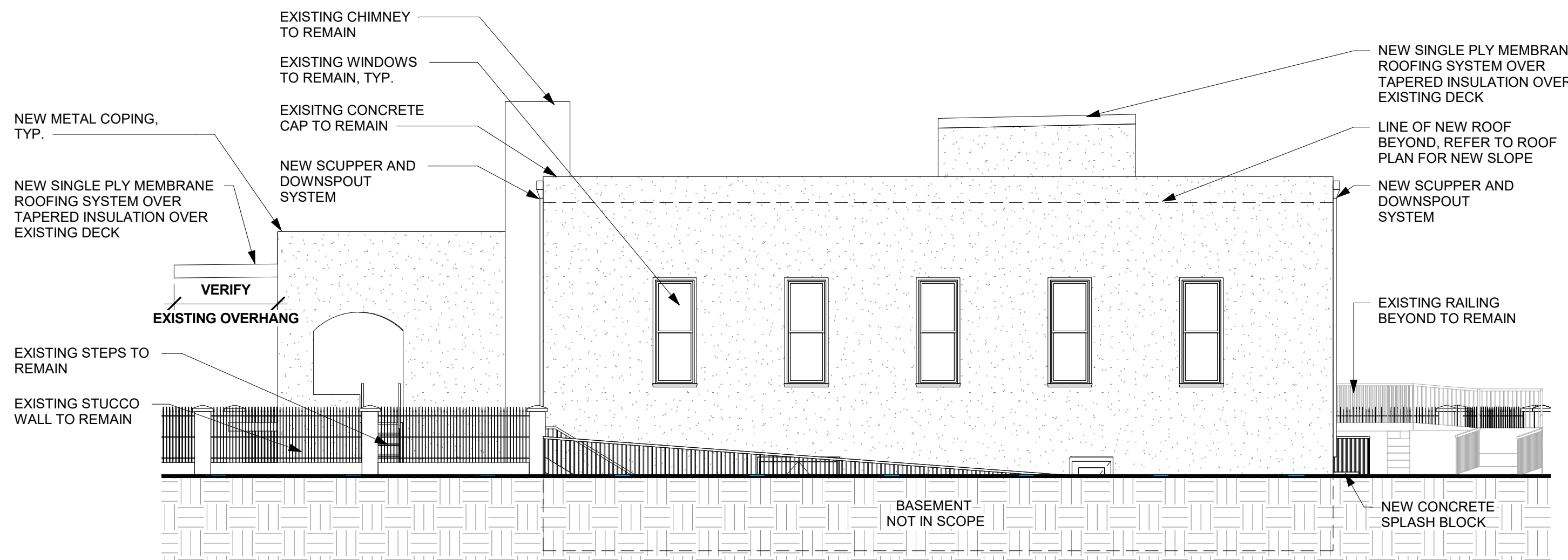
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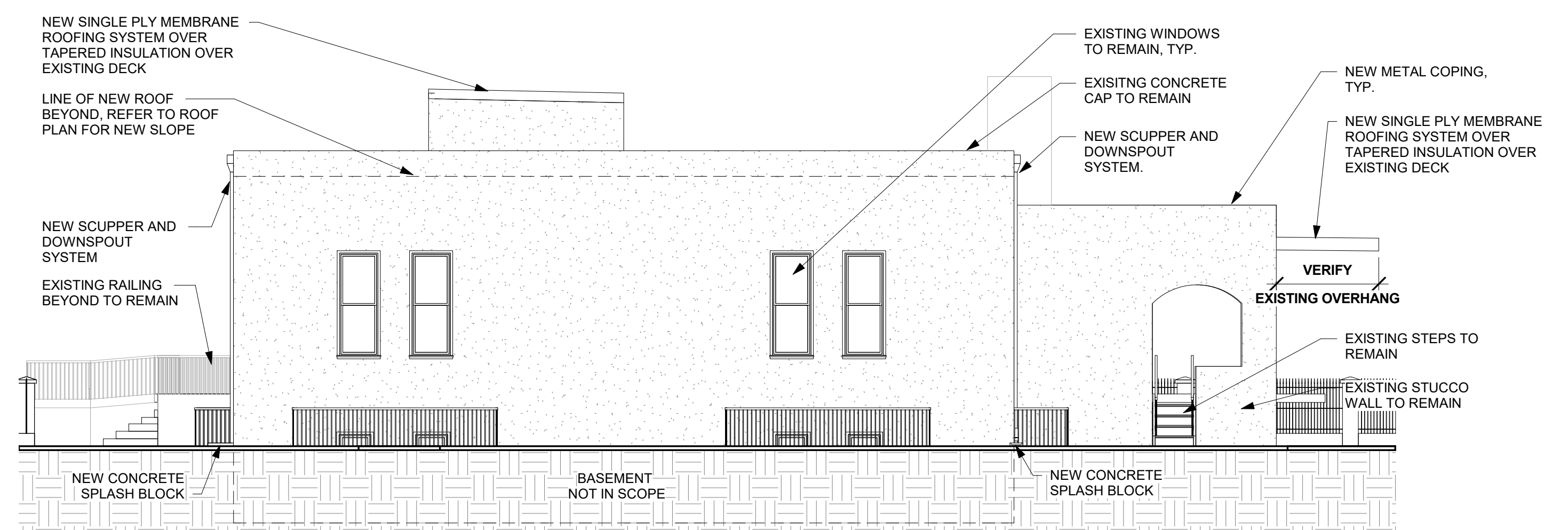
1 ANNEX NORTH
1/8" = 1'-0"



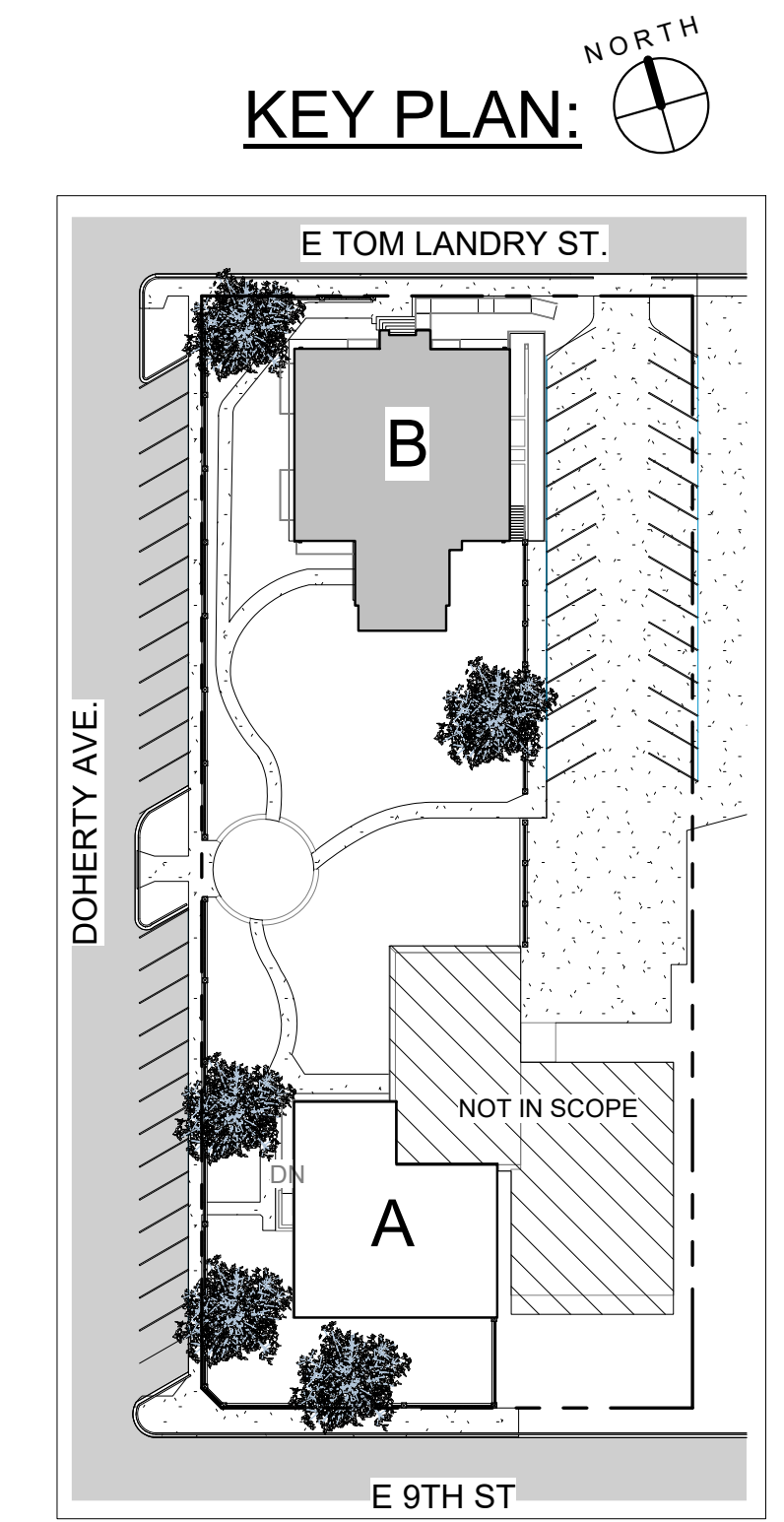
2 ANNEX SOUTH
1/8" = 1'-0"



3 ANNEX EAST
1/8" = 1'-0"



4 ANNEX WEST
1/8" = 1'-0"



10/16/19

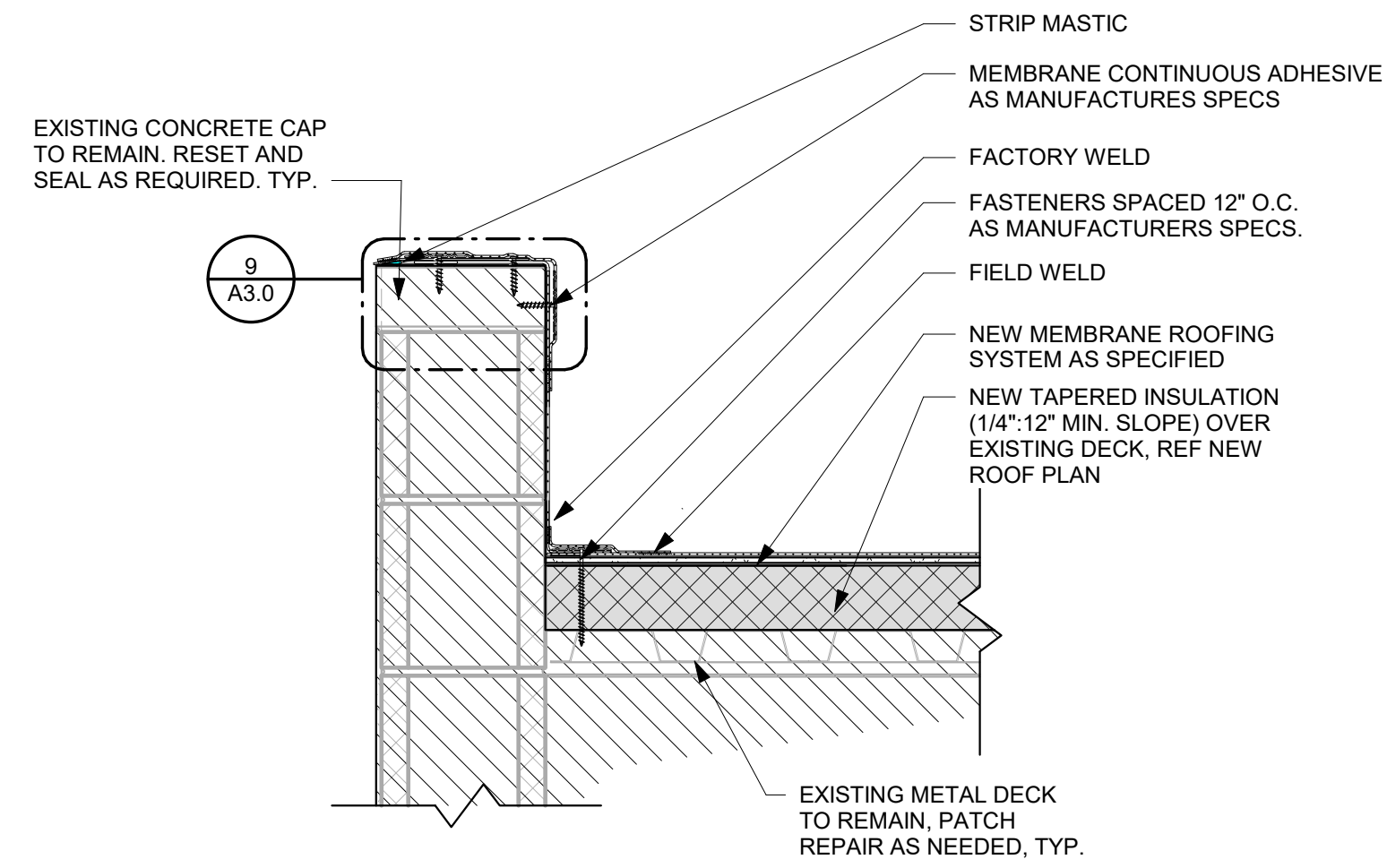
ROOF REPLACEMENT FOR
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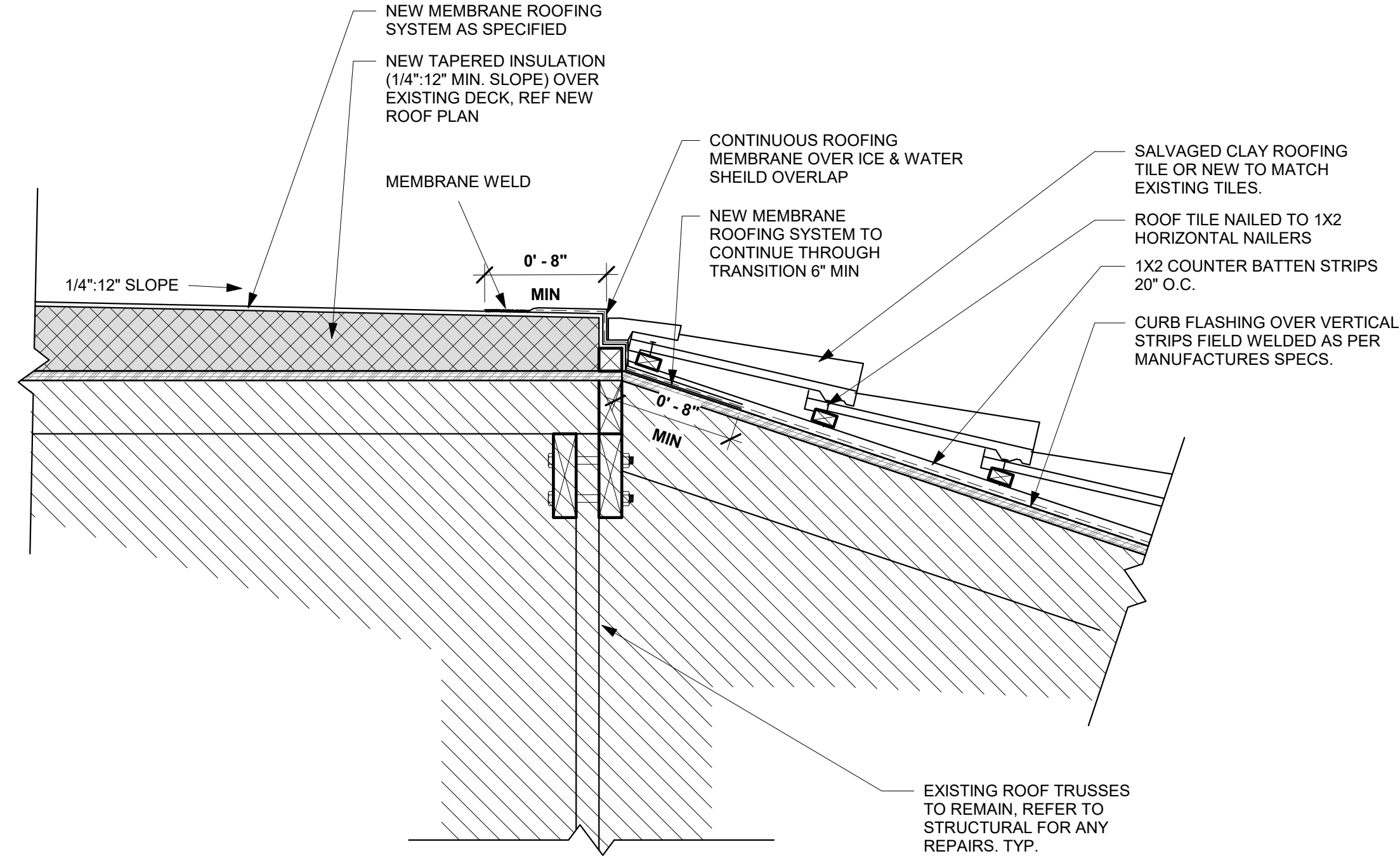
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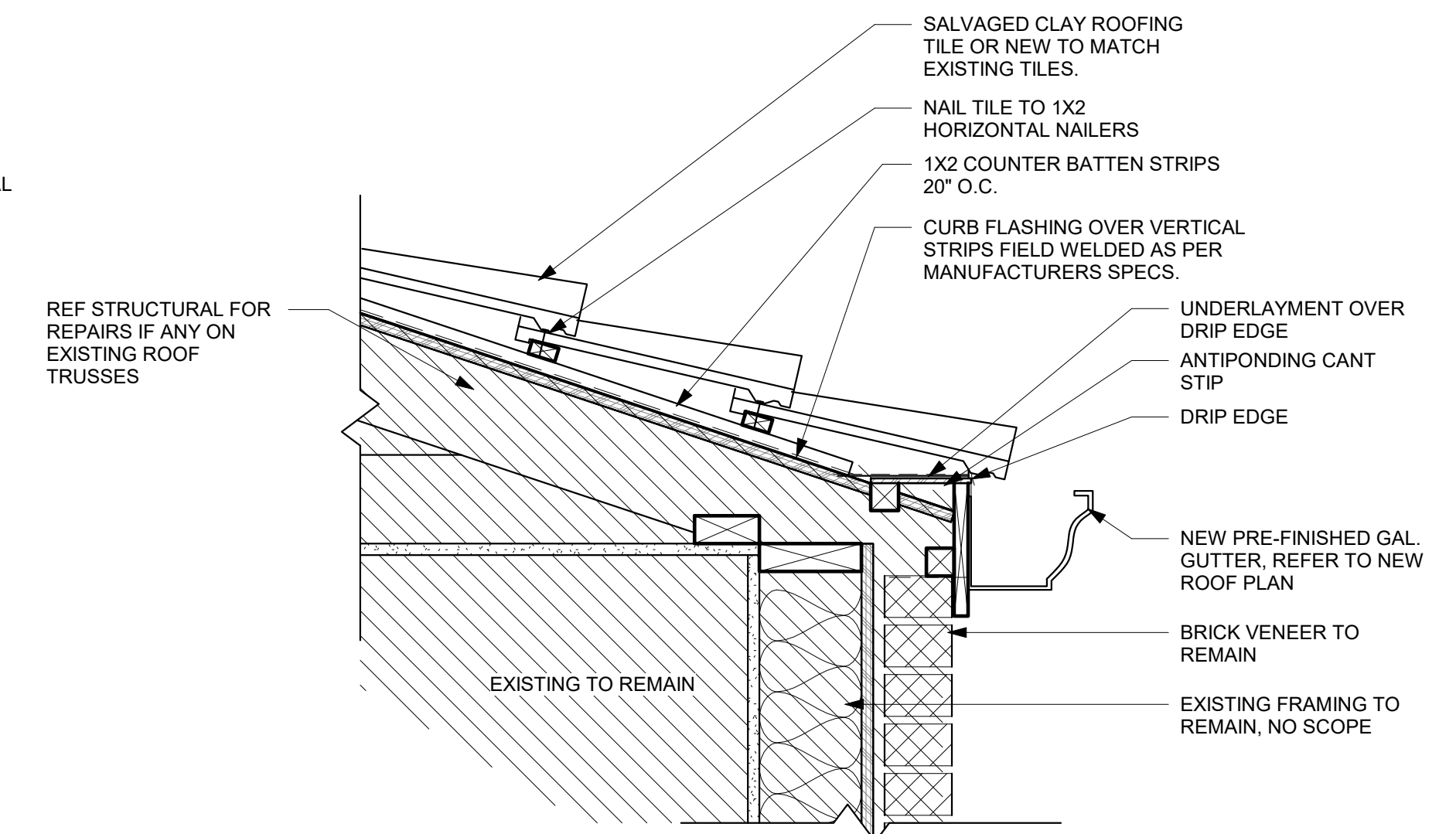
ELEVATIONS
- BUILDING
"B"
(PHASE III)



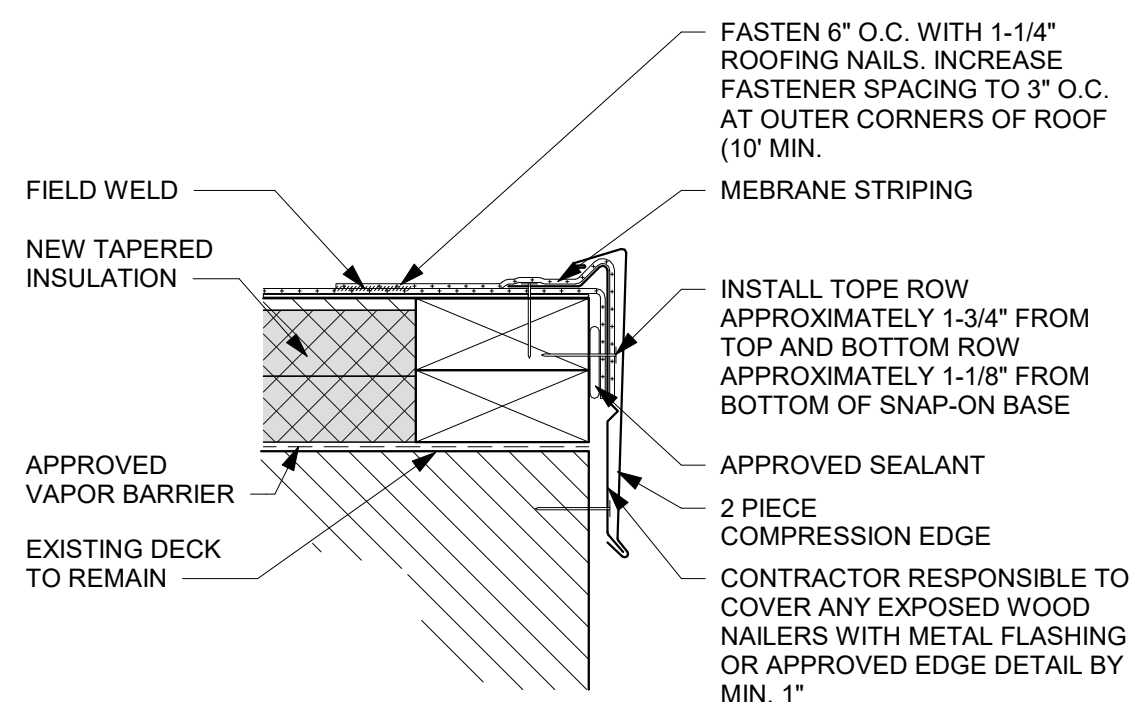
5 PARAPET DETAIL
1 1/2" = 1'-0"



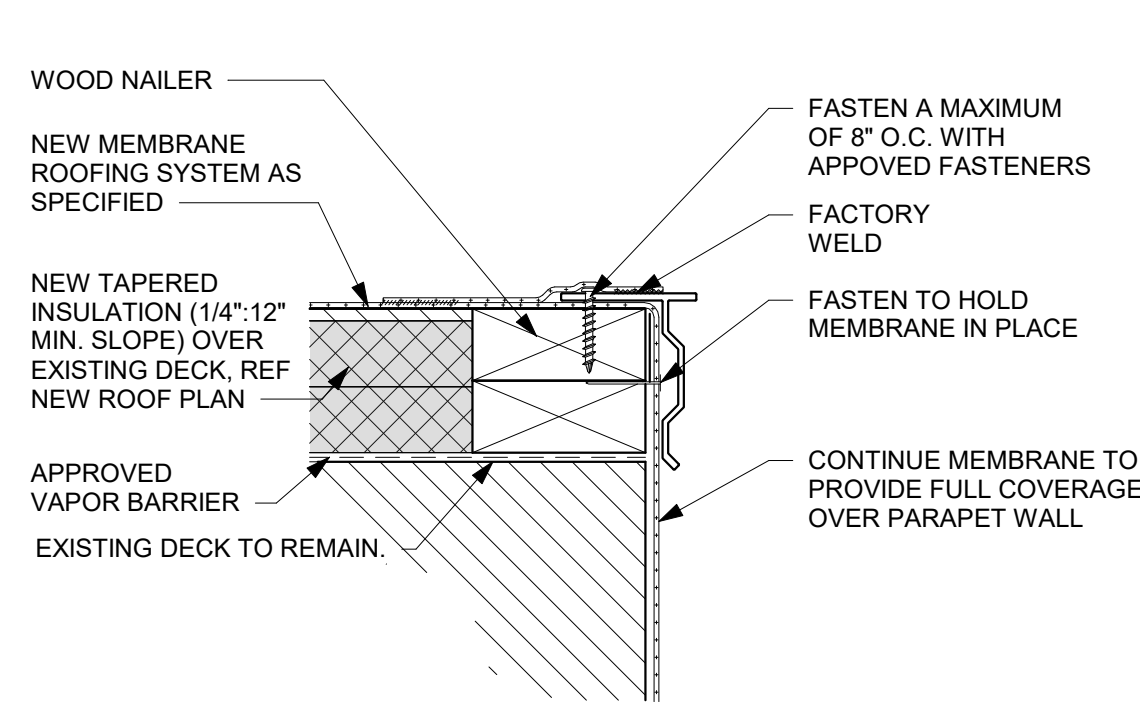
4 MEMBRANE ROOF TO CLAY TILE TRANSITION
1 1/2" = 1'-0"



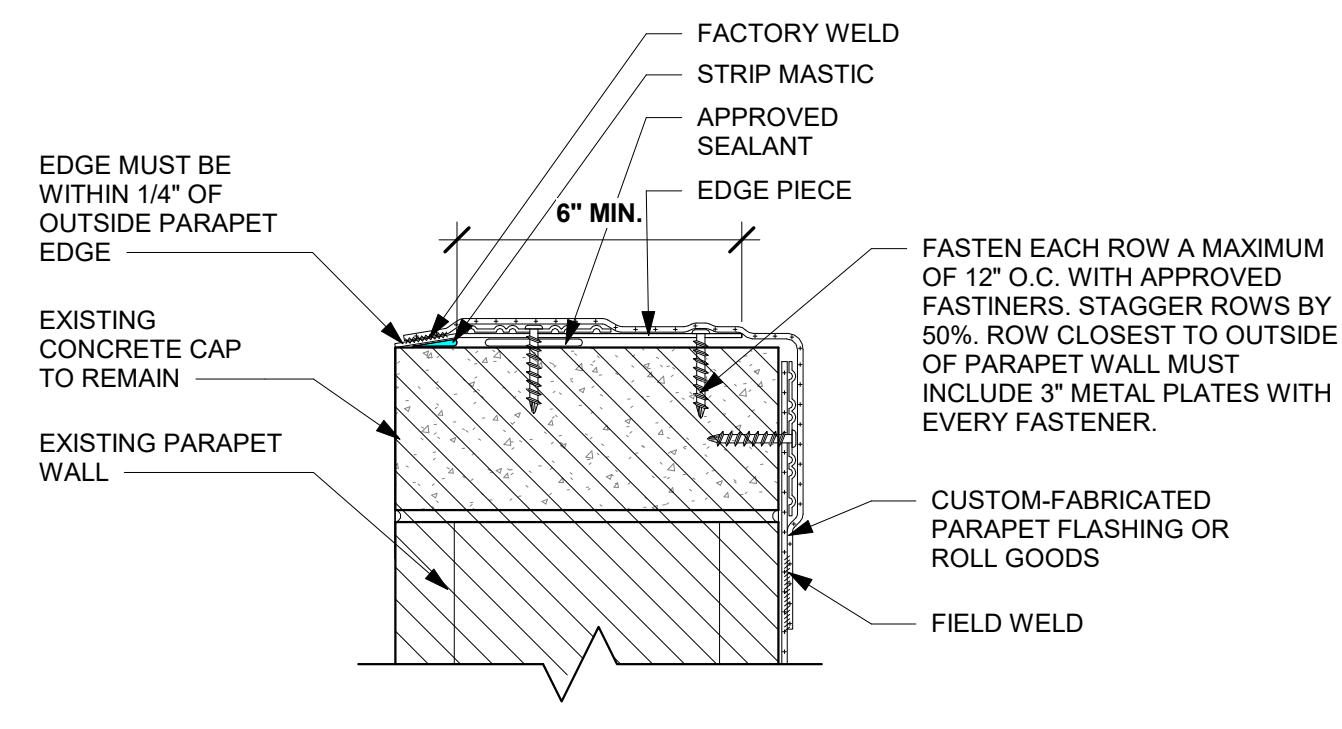
2 CLAY TILE EDGE W/ GUTTER DETAIL
1 1/2" = 1'-0"



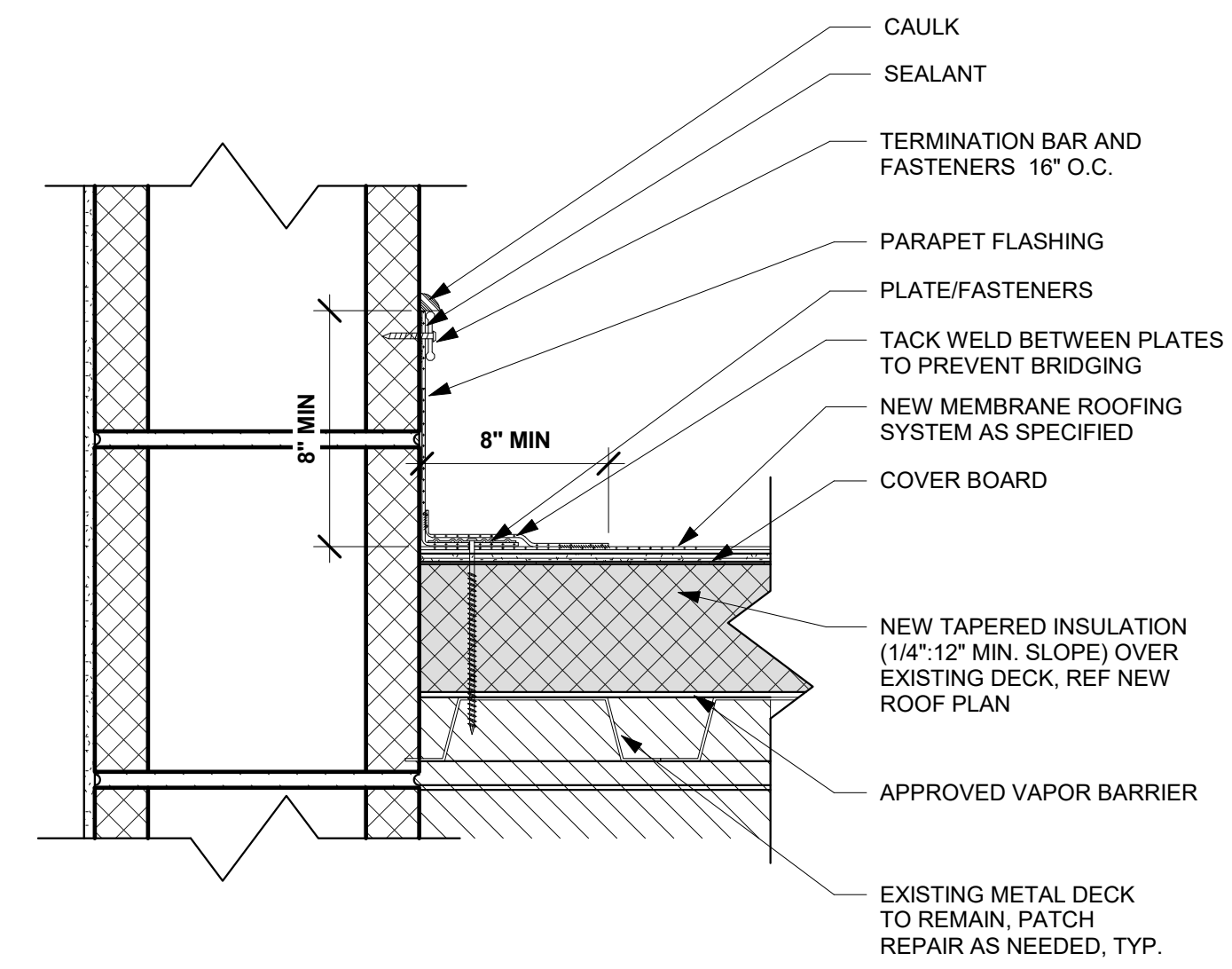
8 PIECE COMPRESSION EDGE
3" = 1'-0"



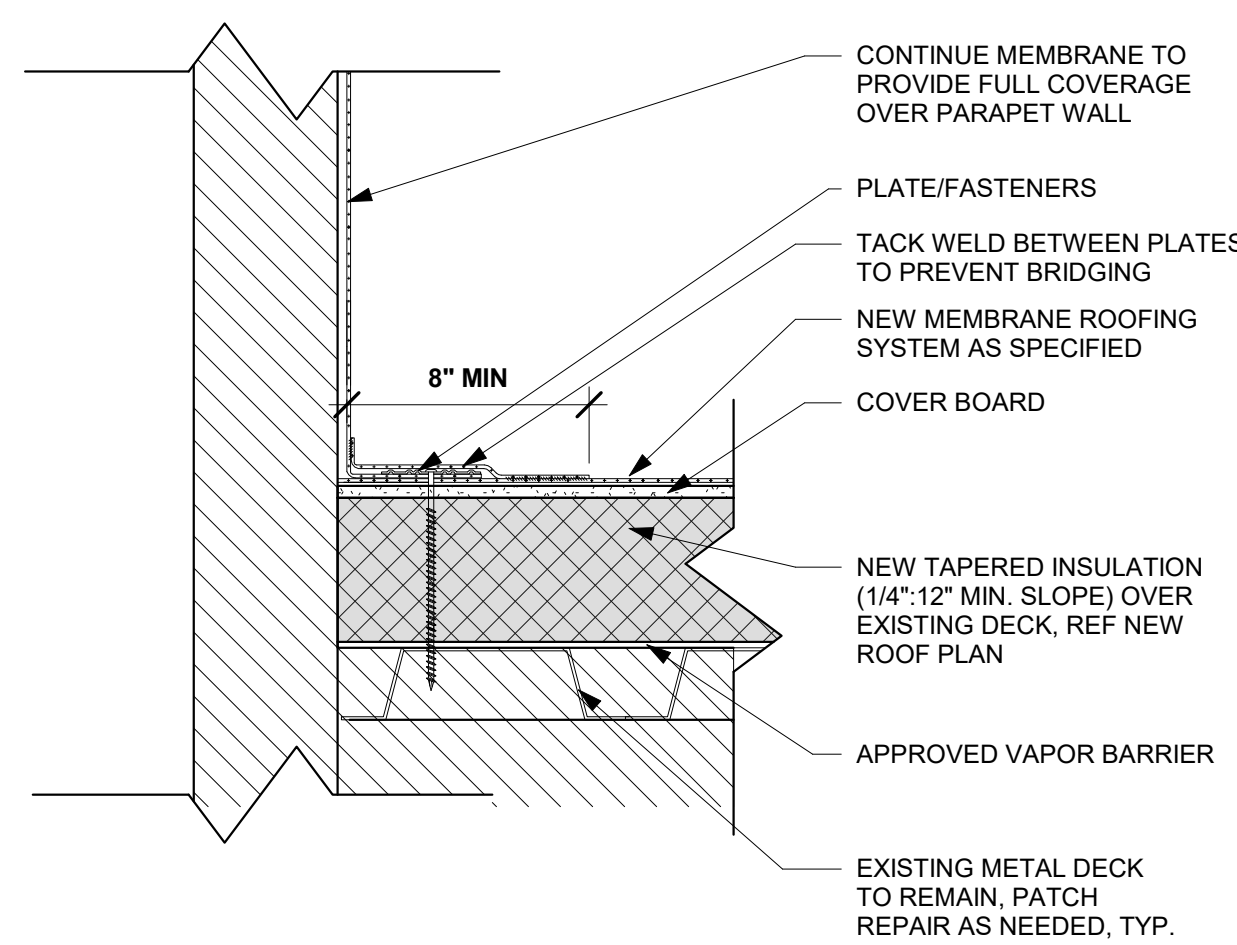
10 DRIP EDGE DETAIL
3" = 1'-0"



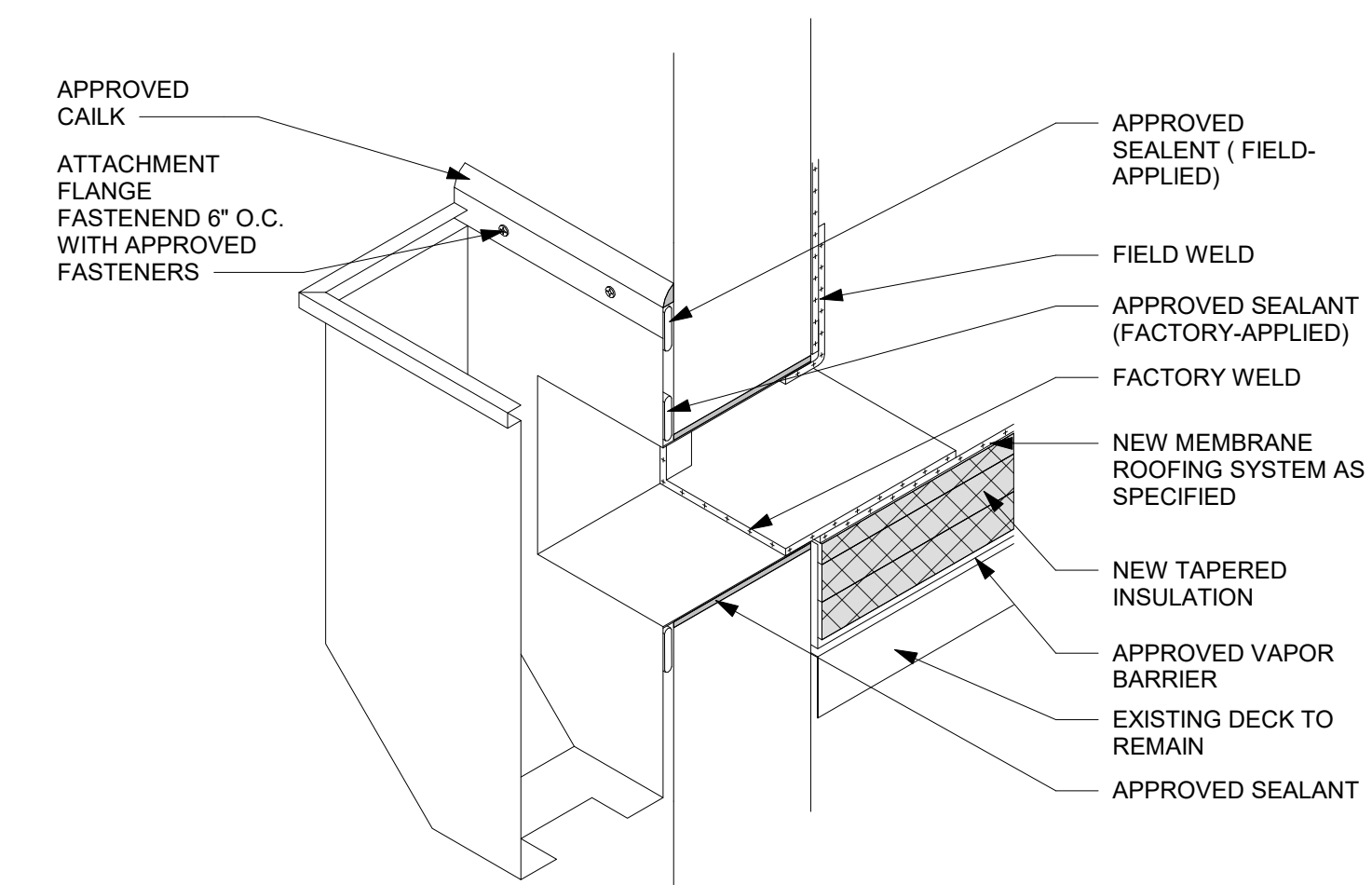
9 DURO EDGE PARAPET
3" = 1'-0"



6 ROOF TO WALL W/ CANT
3" = 1'-0"



11 ROOF TO WALL DETAIL
3" = 1'-0"



3 SCUPPER THROUGH PARAPET DETAIL
3" = 1'-0"



10/16/19
JOSE C. GARCIA
REGISTERED ARCHITECT
STATE OF TEXAS
22658

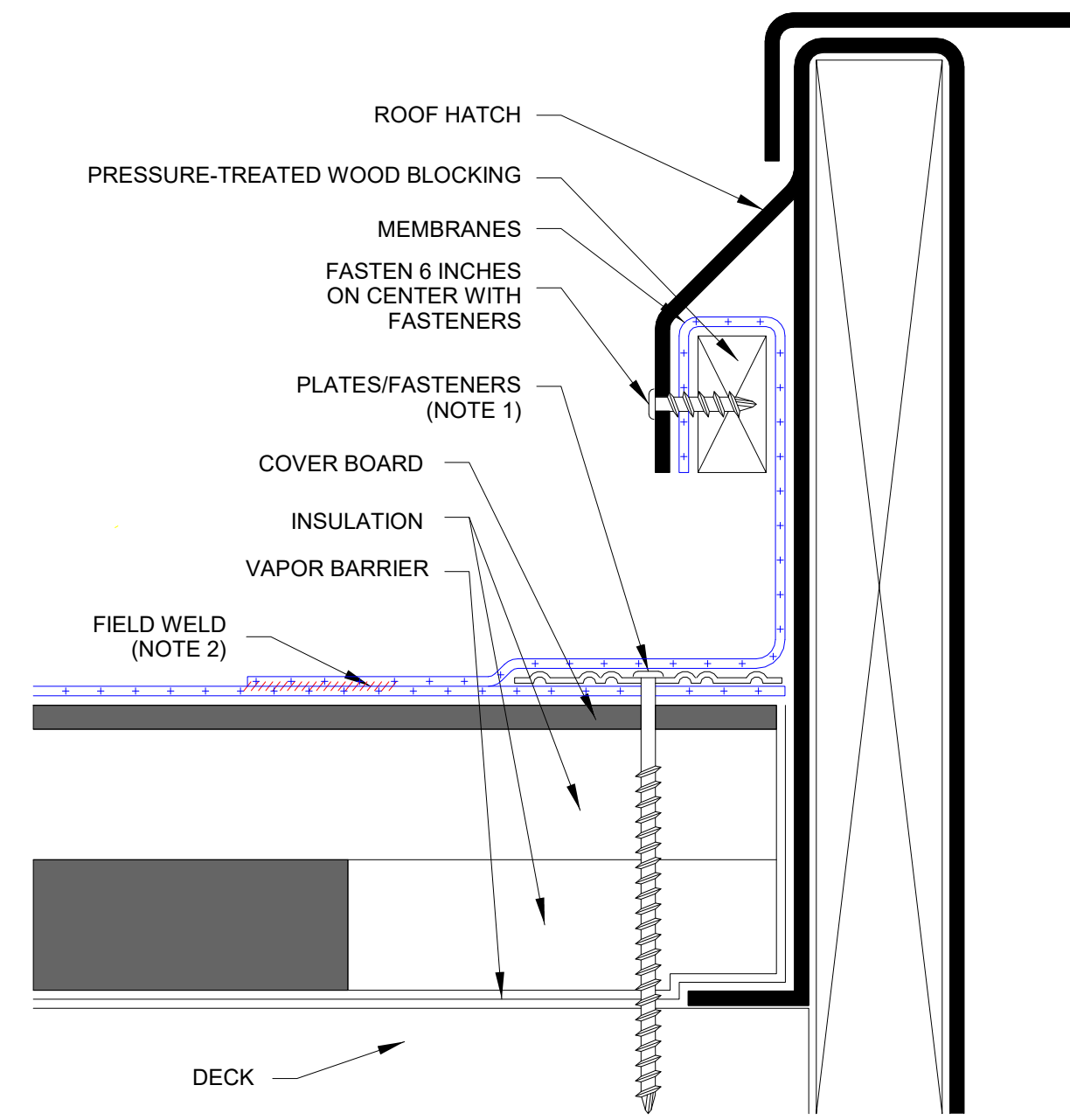
ROOF REPLACEMENT FOR
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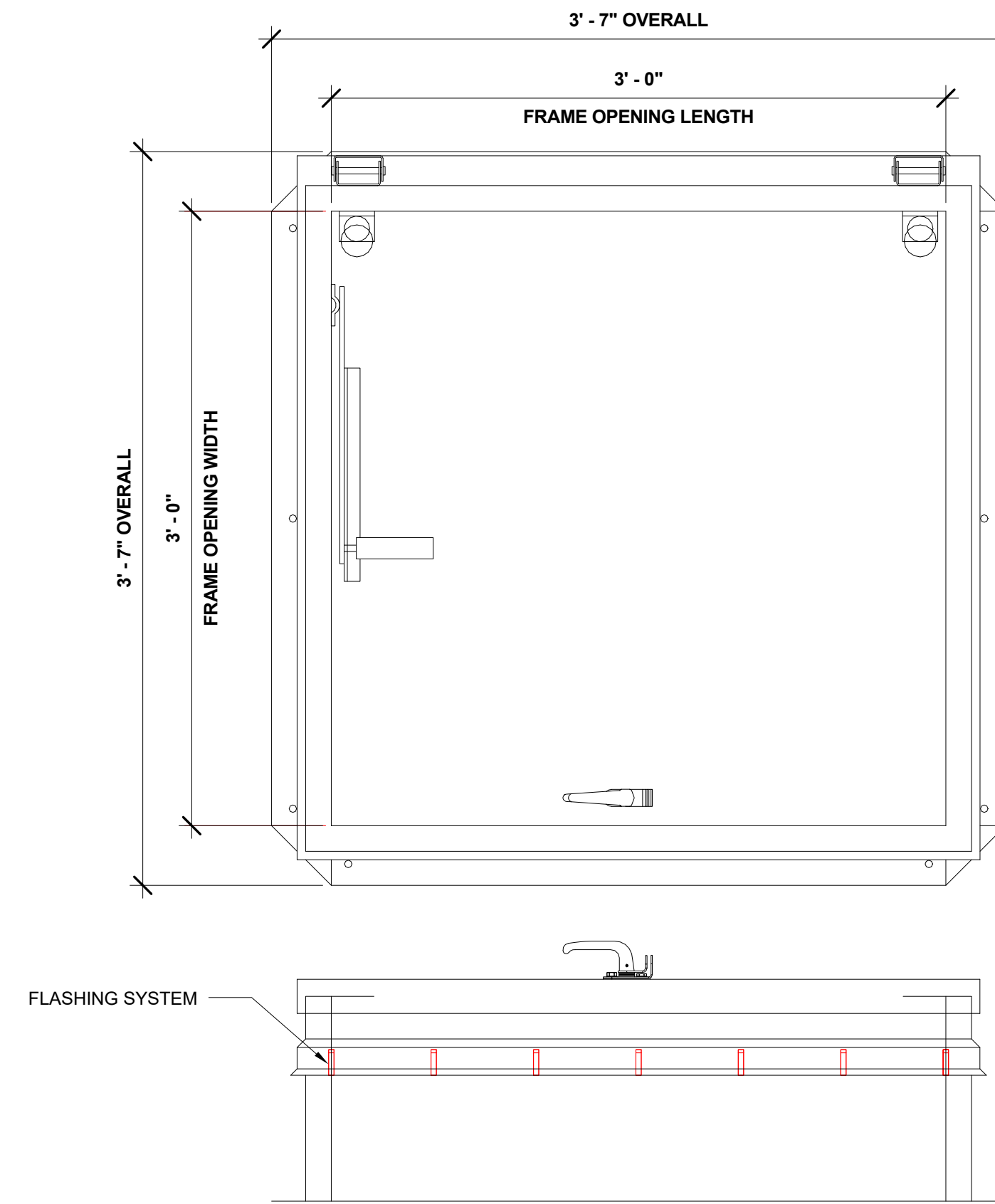
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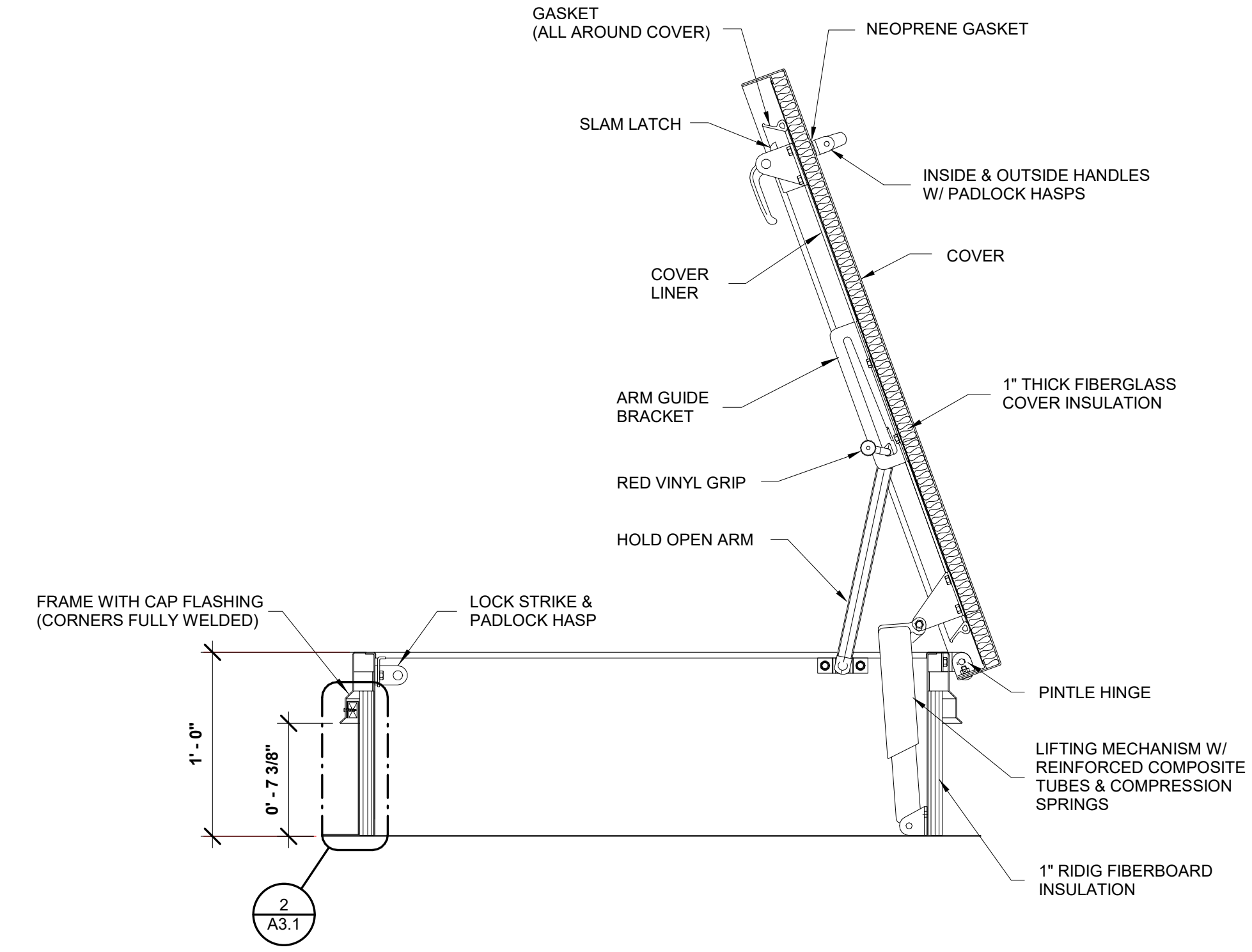
ROOF
DETAILS
(PHASE II &
III)



② HATCH ACCESS
6" = 1'-0"



① HATCH ACCESS PROFILE
1 1/2" = 1'-0"



ROOF REPLACEMENT FOR
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ROOF
DETAILS
(PHASE II &
III)

A3.1