

# CITY OF MISSION **ROOF REPLACEMENT FOR SPEER** MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM **PROJECT INFORMATION** RFP: 20-074-12-09 LOCATION 801 E. 12TH ST. MISSION, TX.

# **CITY COMMISSION**

JESSICA ORTEGA-OCHOA **RUBEN PLATA** NORIE GONZALEZ GARZA JOSE ALBERTO "BETO" VELA

DR. ARMANDO O'CAÑA **RANDY PEREZ** 

COUNCIL, PLACE 1 COUNCIL, PLACE 2 COUNCIL, PLACE 3 MAYOR PRO-TEM COUNCIL, PLACE 4

MAYOR **CITY MANAGER** 



## **SPEER MEMORIAL LIBRARY BASE BID - PHASE I** ALTERNATE No 1 (AT LIBRARY PHASE 1 ONLY) 801 E 12TH ST, MISSION, TEXAS 78572

DESIGN TEAM:

<u>ARCHITECT:</u>



1320 W. NOLANA AVE. McAllen TX, 78504 956.239.2438 956.221.2400 arkiiform@arkiiform.com www.arkiiform.com

<u>STRUCTURAL</u> ENGINEER:



108 W 18TH STREET MISSION, TX 78572 956.581.0143



**BASE BID - PHASE II** 



**MISSION HISTORICAL MUSEUM "THE ANNEX"** BASE BID - PHASE III 900 DOHERTY AVE, MISSION, TEXAS 78572

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MUSEUM

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PHASE

# LOCATION MAP:





**HINOJOSA ENGINEERING, INC** STRUCTURAL ENGINEERING **CIVIL ENGINEERING** 108 W. 18TH ST. MISSION, TEXAS

FAX:(956) 581-207 (956) 581-0143 E-MAIL: HinojosaEngInc@aol.com REGISTRATION NUMBER F908 EXPIRATION DATE 09/30/20

- PHASE I: SPEER MEMORIAL LIBRARY PHASE II & III: MISSION HISTORICAL MUSEUM & ANNEX 900 DOHERTY AVE. MISSION. TX.
- ARKIIFORM LLC, 1320 W NOLANA AVE., MCALLEN, TX.
- HINOJOSA ENGINEERING. INC. 108 W 18TH ST. MISSION. TX

## PROJECT DISCRIPTION

ROOF REPLACEMENT AT CITY OF MISSION SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL

#### <u>APPLICABLE CODES:</u> PHASE I: SPEER MEMORIAL LIBRARY ROOF RENOVATIONS 801 E 12th ST. MISSION. TX 78572

2012 - INTERNATIONAL BUILDING CODE 2012 - INTERNATIONAL ENERGY CODE

BUILDING OVERALL ROOF AREA TOTAL SF 31,580 SF

## PHASE II: MISSION HISTORICAL MUSEUM ROOF RENOVATIONS 900 DOHERTY AVE, MISSION, TX 78572

2012 - INTERNATIONAL BUILDING CODE 2012 - INTERNATIONAL ENERGY COD

**BUILDING OVERALL ROOF AREA:** MUSEUM BUILDING "A" 3,750 SF

## APPLICABLE CODES: PHASE III: ANNEX BUILDING ROOF RENOVATIONS 900 DOHERTY AVE, MISSION, TX 78572

2012 - INTERNATIONAL BUILDING CODE 2012 - INTERNATIONAL ENERGY CODE

## BUILDING OVERALL ROOF AREA:

MUSEUM BUILDING "B" 4,721 SF

R Z Z .IBRA DRIC/  $\sim$ X AND MIS 20-074-ROOF I SPEER RFP: **REVISION:** 



G0.0

DRAWN BY: HM

DATE: 10-16-19

CHECKED BY: CG3



### DEMOLITION GENERAL NOTES

THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATEIRALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING, REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION, THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE, REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERUPTED OR DISTURBED STURCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERETO STRUCTRUAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARING AS A MINIMUM. REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMNTS CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY, PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS, REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDNG ACCESS WITH OWNER. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK, PROVISION & CONTROL OF ALL MEANS& METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS, INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

#### DEMOLITION KEYNOTES

- (1) DEMOLISH & REMOVE EXISTING GUTTER SYSTEM AND DOWNSPOUT, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NESSISERY.
- DEMOLISH & REMOVE METAL COPING AT ALL PARAPETS, DEMOLISH TO EXISTING WOOD BLOCKING, PATCH REPAIR BLOCKING FOR NEW METAL COPING INSTALLATION.
- (3) EXISTING MECHANICAL EQUIPMENT TO REMAIN, EXISTING ROOFING CURB TO CONSTRUCTION TO REMAIN, ROOF CURB TO BE PREPARED FOR NEW ROOFING AS PER MANUFACTURER DETAILING
- 4 DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALATION OF NEW ACCESS HATCH.
- 6 PREPARE TOP OF WLL SURFACE TO RECIEVE METAL WALL CAP.

#### DEMOLITION LEGEND





DEMO ROOF PLAN (PHASE I)

D1.0



EXISTING PHOTO

-(2)



EXISTING PHOTO 5



EXISTING PHOTO







-3

EXISTING PHOTO 6

**EXISTING PHOTO** 10



EXISTING PHOTO 3



EXISTING PHOTO



EXISTING PHOTO 11



EXISTING PHOTO 4





-(1)

EXISTING PHOTO 8

-(6)

GENERAL NOTES:

- ALL PHOTOGRAPHS SHOWN ARE EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE 1. THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT, ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION.
- REFER TO SHEET D1.0 FOR DEMOLITION DETAILS AND NOTES IN ACCORDANCE TO THESE PHOTOGRAPHS. LOCATION OF PHOTOS ARE SHOWN AS TYPICAL ON DEMOLITION PLAN.
- REFER TO SHEET A1.1 FOR NEW ROOF CONFIGURATIONS 3. AND NOTES.
- THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT INJURY OR DAMAGE TO ALL OTHER STRUCTURES NOT IN SCOPE. THE CONTRACTOR SHALL REBUILD, REPAIR OR RESTORE AT HIS OWN EXPENSE, ALL INJURIES OR DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS COMPLETION AND ACCEPTANCE. 4.

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- 6 PREPARE TOP OF WLL SURFACE TO RECIEVE METAL WALL CAP.





D1.1

#### **GENERAL NOTES**

- 1. THIS CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE, UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE. BUT NOT BE LIMITED TO, BRACING, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING SAFETY NETS, SUPPORT AND BRACING FOR CRANES, POLES, ETC. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR
- THE ENGINEER DO NOT INCLUDE INSPECTION OF THE ABOVE AND BELOW ITEMS. ALL CONSTRUCTION AND QUALITY OF MATERIALS SHALL COMPLY WITH THE GOVERNING BUILDING CODES AND REGULATIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS, TOLERANCES AND CONDITIONS AT THE JOB SITE BEFORE COMMENCEMENT OF WORK AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT AND ENGINEER IN WRITING BEFORE PROCEEDING WITH THAT PORTION OF THE WORK ANY OMISSION OR CONFLICT BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
- 4. IN CASE OF CONFLICT; NOTES AND DETAILS ON THE BALANCE OF THE DRAWINGS TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. DRAWINGS TAKE PRECEDENCE OVER SPECIFICATIONS. IN CASE OF A CONFLICT ON THE SAME ITEM. THE MORE STRINGENT OR MORE EXPENSIVE ITEM GOVERNS
- 5. WHERE CONSTRUCTION DETAILS ARE NOT SPECIFICALLY SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN FOR SIMILAR CONDITIONS AND MATERIALS. WHERE SUFFICIENTLY SIMILAR WORK IS NOT SHOWN, THE ENGINEER SHALL BE CONSULTED FOR CLARIFICATION.
- 6 FACH SUBCONTRACTOR IS CONSIDERED AN EXPERT IN THEIR RESPECTIVE FIELD AND SHALL PRIOR TO THE SUBMISSION OF A BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR, ARCHITECT, ENGINEER OR OWNER, IN WRITING OF ANY WORK CALLED OUT ON THE DRAWINGS IN THEIR TRADE THAT CANNOT BE GUARANTEED OR PERFORMED AS INDICATED.
- 7. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AS TO WEIGHTS AND EXACT LOCATIONS, WITH STRUCTURAL SUPPORTS. IN THE EVENT THAT THE PURCHASED EQUIPMENT DEVIATES IN WEIGHT AND LOCATION FROM THOSE INDICATED ON THE PLANS, THE ARCHITECT AND ENGINEER MUST BE NOTIFIED AND APPROVAL OBTAINED PRIOR TO INSTALLATION.
- THIS STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING AS REQUIRED TO INSURE THE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE OR ANY PORTION THEREOF, DURING CONSTRUCTION.
- 9. NEITHER THE OWNER NOR THE ARCHITECT NOR THE ENGINEER WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN. CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY
- AND HEALTH STANDARDS, LAWS AND REGULATIONS. 10. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE ENGINEER
- 11. ANY OPTIONS OR APPROVED SUBSTITUTIONS ARE FOR CONTRACTORS CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES, ADDITIONAL COSTS (INCLUDING REDESIGN BY THE ENGINEER), AND COORDINATION WITH ALL ITEMS THAT THE SUBSTITUTIONS MAY IMPACT
- 12. THE ARCHITECT AND ENGINEER ARE TO BE NOTIFIED IN WRITING WHEN CONSTRUCTION AT THE SITE BEGINS. 13. ANY QUESTIONS RELATED TO INTERPRETATION OR INTENT OF THESE DRAWINGS SHALL BE
- REFERRED TO THE ENGINEER. 14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROJECT ANY EXISTING UNDERGROUND OR CONCEALED CONDUIT, PLUMBING, OR OTHER UTILITIES PRIOR TO BEGINNING ANY WORK. THE CONTRACTOR SHALL TAKE ALL THE NECESSARY PRECAUTIONS TO PROTECT EXISTING STRUCTURES ADJACENT, NEAR, OR WITHIN THE AREA OF CONSTRUCTION
- 15. PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL NOT BE PLACED IN BEAMS OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. UNLESS NOTED CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.

#### **DESIGN CRITERIA**

A. DESIGN LOADS, STRUCTURAL ANALYSIS AND PREPARATIONS OF STRUCTURAL

	MEMBERS ARE BASED UPON THE FOLLOWI	NG CRITERIA:	
	CODE:	2015 IBC	
	A. STRUCTURAL LOADS:	ASCE/SEI 7-10	
	B. CONCRETE:	ACI 318R-14	
	C. ALUMINUM:	ADM1-2010	
	D. MASONRY:	TMS 402-13/ACI 530-13/AS	SCE5-13
		TMS 602-11/ACI 530.1-11/	ASCE 6-11
	E. STEEL:	AISC 325-11(14TH EDITIO	N)
		ANSI/AISC 360-10 (JUNE 2	22, 2010)
	F. COLD-FORMED STEEL:	AISI S100-12	
	G. WOOD:	NDS-2012	
		ANSI/AF&PA SDPWS-2008	3
В.	GRAVITY LOADS	UNIFORM	CONCENTRATED
1.	DEAD LOADS		
	ROOF	25 PSF	
	FOUNDATION	85 PSF	
2.	ROOF LIVE LOADS		
	FLAT ROOF STRUCTURE		
	PITCH ROOF STRUCTURE (1/4:12 MIN.)	20 PSF	
	SUBJECT TO MAINTENANCE WORKERS		300 LBS
	ALL OTHER PRIMARY ROOF MEMBERS		300 LBS
3.	LIVE LOADS		
	PARTITIONS	15 PSF	
	(PER ASCE 7-10 SECTION 4.3.2		
	A PARTITION LIVE LOAD IS NOT		
	REQUIRED WHERE THE MINIMUM		
	SPECIFIED LIVE LOAD EXCEEDS 80 PSF)		
4.	CANOPY		
	DEAD LOAD	5 PSF	
	LIVE LOAD (AWNINGS & CANOPIES)		
	FABRIC CONSTRUCTION	5 PSF	
	ALL OTHER CONSTRUCTION	20 PSF	
C.	MECHANICAL UNITS		
1.	LOCATIONS AND LOADS OF MECHANICA	L UNITS SHOWN IN THE F	PLANS ARE NOT
	CONSIDERED FINAL. THE GENERAL CONT	FRACTOR SHALL COORDIN	NATE FINAL LOCATIONS
	OF UNITS WITH ALL TRADES. REFERENC	E MECHANICAL/ELECTRI	CAL/ PLUMBING
	DRAWINGS FOR UNITS NOT SHOWN IN S	TRUCTURAL DRAWINGS	AND COORDINATE
	WEIGHT AND LOCATION WITH ALL TRAD	ES. THE GENERAL CONTR	RACTOR SHALL SUBMIT

ACTUAL MECHANICAL UNIT WEIGHTS TO THE ENGINEER FOR VERIFICATION AND APPROVAL. THE GENERAL CONTRACTOR SHALL SUBMIT MECHANICAL UNIT WEIGHTS LOCATIONS, SUPPORTED BY OPEN WEB STEEL JOISTS, TO THE STEEL JOIST MANUFACTURER

#### **DESIGN CRITERIA (CONT.)**

D.	LATERAL LOADS	
1.	WIND LOAD	
	ULTIMATE DESIGN WIND SPEED, Vut	137 MP
	RISK CATEGORY	
	EXPOSURE CATEGORY	C
	INTERNAL PRESSURE COEFFICIENT, GCpi	± 0.18
	A. STRUCTURE DESIGNED AS ENCLOSED.	
	COMPONENTS & CLADDING	
	A. THIS STRUCTURE IS LOCATED IN A HURRICANE PRONE RE	GION.
	B. THIS STRUCTURE IS NOT LOCATED IN A WIND-BORNE DEBF	RIS REGION.

C. PROTECTION OF GLAZED OPENINGS IS NOT REQUIRED.

#### STRUCTURAL OBSERVATIONS

- JOB SITE OBSERVATIONS BY THE PROFESSIONAL ENGINEER OR HIS AUTHORIZED REPRESENTATIVE SHALL CONSIST OF VISUAL OBSERVATION OF MATERIALS. EQUIPMENT OR CONSTRUCTION WORK FOR THE PURPOSE OF ASCERTAINING THAT THE WORK IS IN SUBSTANTIAL CONFORMANCE WITH THE CONTRACT DOCUMENTS AND WITH THE INTENT.
- SUCH OBSERVATIONS SHALL NOT BE RELIED UPON BY OTHERS AS ACCEPTANCE OF THE WORK, NOR SHALL IT BE CONSTRUED TO RELIEVE THE CONTRACTOR IN ANY WAY FROM HIS OBLIGATIONS AND RESPONSIBILITIES UNDER THE CONSTRUCTION CONTRACT.
- SPECIFICALLY BUT WITHOUT LIMITATION. OBSERVATIONS BY THE DESIGN PROFESSIONA SHALL NOT REQUIRE THE DESIGN PROFESSIONAL TO ASSUME RESPONSIBILITY FOR THE MEANS AND METHODS OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR FOR ITEMS NOT INSTALLED OR IMPROPERLY INSTALLED BY THE CONTRACTOR OR HIS/HER SUBCONTRACTORS
- 4. NOTIFY ENGINEER 48 HOURS IN ADVANCE WHEN A STRUCTURAL OBSERVATION IS REQUIRED. CONSTRUCTION STAGE REQUIRED BEFORE PLACEMENT OF CONCRETE FOR SLAB/FOUNDATION N/A

BEFORE PLACEMENT OF FOUR (4) FEET OF GROUT IN CMU & BMU WALL	N/A
AFTER FRAMING OF ROOF STRUCTURE BUT BEFORE PLACEMENT OF ROOFING MATERIAL.	х

#### **ROOF METAL DECK**

SHEET METAL:	
MATERIAL:	ASTM A446, GRADE A,
GALVANIZING:	G90 ZINC COATED, ACCORDING TO ASTM A525
LOCATION	TYPICAL
DECK PROFILE	В
PROFILE DEPTH:	1.5"
GAUGE:	18
SPAN	5'-0"
ATTACHMENT:	
AT SUPPORTS:	#12 w/ 5/8" DIA. INTEGRAL WASHER SST QUIK DRIVE SERIES XLQ-SERIES SCREWS (MODEL XLQ114T1224)
FASTENER LAYOUT	36/11 (4" AT PERIMETER)
AT SIDE LAPS:	#10 SST QUIK DRIVE X-SERIES SCREWS (MODEL X1S1016)
SIDE LAPS	11 FASTENERS PER SPAN (4" AT PERIMETER)
INSTALL DECK ENDS OVER SUPPO	ORTING FRAMING WITH A MINIMUM END BEARING OF 1.5" WITH
END JOINTS LAPPED AT A MINIMU	M OF TWO INCHES AND SHALL OCCUR OVER SUPPORTS.
SCREWS MUST BE INSTALLED US	ING PROPERLY CALIBRATED TOOLS TO AVOID OVERDRIVING,
WHICH CAN STRIP THE THREADS	AT SIDE LAPS OR SEVER THE SCREW WHEN IT IS PLACED

- LACED INTO HEAVIER SUBSTRATE DECK UNITS SHALL BE 3 OR MORE SPANS AND SHALL BE ATTACHED TO THE STRUCTURAL
- SUPPORT PROVIDE CLOSURE OVER WALLS AND UNDER DECKS, ALSO OVER STEEL BEAMS AND DECKS.
- PROVIDE FILLER SHEETS AS REQUIRED. AT VALLEYS, RIDGES AND WHERE DECK CHANGES DIRECTIONS, PROVIDE 12" WIDE x 1/4" THICK
- CONTINUOUS FLAT PLATES. (BEND AS REQUIRED).
- BUILDING ROOF CORNERS AND PERIMETERS SHALL BE FASTENED PER NOTE 2 ABOVE OR PER ROOF SYSTEM REQUIREMENTS WHICHEVER HAS THE MOST STRINGENT REQUIREMENTS.

CITY OF MISSION SPER MEMORIAL LIBRARY & HISTORICAL MUSEUM ROOF

> RENOVATIONS Mission, TX 78572

#### LIGHT WEIGHT COLD-FORMED STEEL FRAMING

- 1. DESIGN, MANUFACTURE AND INSTALLING OF LIGHT GAUGE, COLD-FORMED STEEL JOISTS, PURLINS, STUDS AND CONNECTIONS SHALL CONFORM WITH THE LATEST EDITION
- OF THE LIGHT GAUGE, COLD-FORMED STEEL DESIGN MANUAL ISSUED BY THE AISI.
- 2. STRUCTURAL LIGHT GAUGE STUDS, TRACK, BRIDGING, AND ACCESSORIES SHALL BE FABRICATED USING THE FOLLOWING MATERIALS: (GALVANIZED STEEL)
- 3. ALL EXTERIOR & INTERIOR STUDS (AND/OR) JOISTS SHALL BE OF THE TYPE, SIZE AND
- GAGE AS DESIGNED AND MANUFACTURED BY CLARKDIETRICH BUILDING SYSTEMS. 4. THE PHYSICAL AND STRUCTURAL PROPERTIES LISTED BY CLARKDIETRICH BUILDING
- SYSTEMS. SHALL BE CONSIDERED THE MINIMUM PERMITTED FOR ALL FRAMING MEMBERS. 5. ALL WELDING SHALL BE IN CONFORMANCE WITH AWS D1.3. "STRUCTURAL WELDING CODE - SHEET STEEL". QUALIFICATIONS OF WELDERS SHALL BE IN ACCORDANCE
- WITH AWS D1.1 CHAPTER 5, PART C, "WELDER QUALIFICATIONS". SEE LATEST EDITION OF THE AISI SPECIFICATIONS FOR THE "DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS" FOR ALLOWABLE WELD VALUES
- 6. FRAMING SHALL BE ERECTED PLUMB, LEVEL AND SQUARE. BRIDGING AND DIAGONAL
- TENSION STRAPS SHALL BE USED. 7. PROVISION FOR POSSIBLE VERTICAL MOVEMENT OF FLOORS AT NON-STRUCTURAL
- WALLS SHALL BE BY USE OF "SLIDE CLIPS". 8. TEMPORARY BRACING SHALL BE PROVIDED AS REQUIRED UNTIL ERECTION IS
- COMPLETE AND SAFELY SECURED TO STRUCTURE. 9. AT TRACK BUTT JOINTS, ABUTTING PIECES OF TRACK SHALL BE SECURELY
- ANCHORED TO A COMMON STRUCTURAL ELEMENT, OR THEY SHALL BE BUTT WELDED OR SPLICED TOGETHER. 10. WALL STUD BRIDGING SHALL BE ATTACHED IN A MANNER TO PREVENT STUD
- ROTATION. BRIDGING ROWS SHALL BE SPACED AT 4'-0" O.C. VERTICAL (MAX.) 11. SECTION INCLUDES: 1. EXTERIOR AND INTERIOR NON-LOAD BEARING WALL FRAMING.
- 2. SOFFIT FRAMING 12. SHOP DRAWINGS:
  - . INCLUDE LAYOUT, SPACING, SIZES, THICKNESSES, AND TYPES OF COLD-FORMED STEEL FRAMING: FABRICATION: AND FASTENING AND
  - ANCHORAGE DETAILS, INCLUDING MECHANICAL FASTENERS. 2. INDICATE REINFORCING CHANNELS, OPENING FRAMING, SUPPLEMENTAL FRAMING STRAPPING, BRACING, BRIDGING, SPLICES, ACCESSORIES,
- CONNECTION DETAILS, AND ATTACHMENT TO ADJOINING WORK. 13 MANUFACTURERS
- 1. CLARKDIETRICH BUILDING SYSTEMS
- 2. DALE/INCOR 3. MARINO\WARE
- 4. THE STEEL NETWORK
- 14. DELEGATED DESIGN: ENGAGE A QUALIFIED PROFESSIONAL ENGINEER. TO DESIGN COLD-FORMED STEEL FRAMING
- 15. STRUCTURAL PERFORMANCE: PROVIDE COLD-FORMED STEEL FRAMING CAPABLE OF WITHSTANDING DESIGN LOADS WITHIN LIMITS AND UNDER
- CONDITIONS INDICATED.
- 1. DESIGN LOADS: AS INDICATED.
- 2. DEFLECTION LIMITS: DESIGN FRAMING SYSTEMS TO WITHSTAND DESIGN LOADS WITHOUT DEFECTIONS GREATER THAN THE FOLLOWING
- a. EXTERIOR LOAD-BEARING WALL FRAMING: HORIZONTAL DEFLECTION OF 1/600 OF THE WALL SPAN.
- b. INTERIOR LOAD-BEARING WALL FRAMING: HORIZONTAL DEFLECTION OF 1/360 OF
- THE WALL SPAN UNDER A HORIZONTAL LOAD OF 5 lbf/sq. ft. c. EXTERIOR NON-LOAD-BEARING FRAMING: HORIZONTAL DEFLECTION OF 1/600 OF
- THE WALL SPAN.
- d. FLOOR JOIST FRAMING: VERTICAL DEFLECTION OF 1/480 FOR LIVE LOADS AND 1/360 FOR TOTAL LOADS OF SPAN.
- ROOF TRUSSES: VERTICAL DEFLECTION OF 1/360 OF THE SPAN. SCISSOR ROOF TRUSSES: HORIZONTAL DEFLECTION OF 1-1/4 INCHES AT
- REACTIONS g. ROOF RAFTER FRAMING: HORIZONTAL DEFLECTION OF 1/360 OF THE
- HORIZONTALLY PROJECTED SPAN. h. CEILING JOIST FRAMING: VERTICAL DEFLECTION OF 1/360 OF THE SPAN. 3. DESIGN FRAMING SYSTEMS TO PROVIDE FOR MOVEMENT OF FRAMING MEMBERS LOCATED OUTSIDE THE INSULATED BUILDING ENVELOPE WITHOUT DAMAGE OR OVERSTRESSING, SHEATHING FAILURE, CONNECTION FAILURE, UNDUE STRAIN ON FASTENERS AND ANCHORS, OR OTHER DETRIMENTAL EFFECTS WHEN SUBJECT TO A MAXIMUM AMBIENT TEMPERATURE CHANGE OF 120° F (67° C)
- 4. DESIGN FRAMING SYSTEM TO MAINTAIN CLEARANCES AT OPENINGS, TO ALLOW FOR CONSTRUCTION TOLERANCES, AND TO ACCOMMODATE LIVE LOAD DEFLECTION OF PRIMARY BUILDING STRUCTURE AS FOLLOWS a UPWARD AND DOWNWARD MOVEMENT OF 3/4 INCH (19 mm) 16. COLD-FORMED STEEL FRAMING DESIGN STANDARDS:
- WALL STUDS: AISLS21
- 2. HEADERS: AISI S212 3. LATERAL DESIGN: AISI S213

#### SHOP DRAWINGS AND SUBMITTALS

- 1. SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED FOR REVIEW TO THE STRUCTURAL ENGINEER FOR EACH STRUCTURAL BUILDING MATERIAL AS INDICATED IN THE STRUCTURAL GENERAL NOTES AND THE CONTRACT SPECIFICATIONS SEE THE CONTRACT SPECIFICATIONS FOR SUBMITTAL PROCEDURES AND ADDITIONAL INFORMATION SHOP DRAWINGS SHALL USE DRAFTING LINE WORK AND LETTERING THAT IS CLEARLY LEGIBLE. SHOP DRAWINGS SHALL NOT CONTAIN NO REPRODUCTIONS OF THE CONTRACT DRAWING PLANS OR DETAILS. SUBMIT ONE REPRODUCIBLE VELLUM AND ONE COPY OF EACH SHOP DRAWING.
- SHOP DRAWINGS SHALL NOT SHOW MATERIALS FOR MORE THAN ONE LEVEL OF THE SAME PLAN
- 5. SHOP DRAWINGS SHALL SHOW CLEAR AND COMPLETE INFORMATION FOR THE FABRICATION (DETAIL SHEETS AND/OR MATERIAL LISTS) AND INSTALLATION. ALLOW A MINIMUM OF (2) WEEKS FOR REVIEW OF EACH SET OF SHOP DRAWINGS.
- CONTRACTOR SHALL REVIEW THE SHOP DRAWINGS SUBMITTED BY THE SUB-CONTRACTOR AND COORDINATE SHOP DRAWINGS WITH ALL OTHER TRADING PRIOR TO SUBMITTING THEM FOR ENGINEER REVIEW.
- 8. CONTRACTOR SHALL ANSWER ALL QUESTIONS OR CLARIFICATIONS BY THE SUB-CONTRACTOR BEFORE SUBMITTING TO ENGINEER FOR REVIEW. ANY QUESTIONS THAT THE CONTRACTOR CANNOT ANSWER WITH THE INFORMATION ON THE DRAWINGS SHALL CLEARLY BE MARKED FOR THE ENGINEER FOR REVIEW.
- 9. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, SEE NOTE NUMBER 3 UNDER GENERAL NOTES. REVIEW OF SHOP DRAWINGS BY THE ENGINEER IS FOR GENERAL CONFORMANCE TO THE STRUCTURAL DRAWINGS. APPROVAL OF THE SHOP DRAWINGS BY THE ENGINEER DOES NOT RELIEF THE CONTRACTOR FOR ANY ERRORS IN DIMENSIONS OR MATERIALS
- INDICATED ON THE SHOP DRAWINGS. 11. IF THERE IS ANY DISCREPANCY BETWEEN THE STRUCTURAL DRAWINGS AND SHOP DRAWINGS, THE INFORMATION SHOWN ON THE STRUCTURAL DRAWINGS GOVERN. INFORMATION THAT IS NOT INDICATED ON THE SHOP DRAWINGS SHALL BE OBTAINED FROM THE STRUCTURAL DRAWINGS.
- PROVIDE SUBMITTALS FOR THE FOLLOWING ITEMS:
- ITEM REQUIRED . CONCRETE MIX DESIGN . CURING COMPOUND FOR CONCRETE REINFORCING STEEL STRUCTURAL STEEL STEEL JOIST METAL DECKING (INDICATE LAYOUT AND TYPES OF DECK PANELS. ANCHORAGE DETAILS, REINFORCING CHANNELS, PANS, DECK OPENINGS, SPECIAL JOINTING, ACCESSORIES, AND ATTACHMENTS TO OTHER CONSTRUCTION.) N/A MORTAR MIX DESIGN N/A GROUT MIX DESIGN N/A MASONRY ASSEMBLAGE PRE-MANUFACTURED METAL BUILDING (INCLUDE CALC'S & REACTIONS) K. LIGHT WEIGHT COLD-FORM STEEL (INCLUDE CALC'S & REACTIONS)

#### SHEATHING

- 1. SHEATHING FOR ROOF TO BE TYPE CDX EXT., STRUCTURAL I -APA
- RATED, 5/8" THICK, (32/16). 2. PLACE ROOF SHEATHING WITH END JOINTS STAGGERED. SECURE
- SHEETS OVER FIRM BEARING WITH 10D COMMON NAILS AT 6" O.C. AT PANEL EDGES, AT 12" O.C. AT INTERMEDIATE SUPPORTS. ALL SHEATHING TO BE PLACED PERPENDICULAR TO FRAMING MEMBERS. 3. SHEATHING WHICH RECEIVES LIGHTWEIGHT INSULATING CONCRETE TO BE
- COVERED WITH 4 MIL. POLYETHYLENE FILM.
- 4. NO A/C UNITS SHALL BE PLACED ON ROOF AREA.
- 5. LEAVE 1/8" SPACE AT ALL PANEL EDGE JOINTS AND END JOINTS UNLESS OTHERWISE RECOMMENDED BY MANUFACTURER.

#### WOOD FRAMING NOTES

- ALL FRAMING LUMBER SHALL BE NO.2 SOUTHERN PINE OR BETTER PROVIDE SOLID BLOCKING BETWEEN ROOF RAFTERS. CEILING JOISTS AND FLOOR JOIST AT BEARING LOCATIONS AND AT MID SPAN OF SPANS GREATER THAN 8'-0" OR AS NOTED. SIZE SHALL MATCH FRAMING MEMBER.
- 3. NOT USED.
- WHERE JOISTS, RAFTERS, OR BEAMS FRAME TOGETHER OR TO EACH OTHER AT THE SAME ELEVATION, PROVIDE FACE NAIL HANGER OR TOP FLANGE HANGERS.
- CONNECT ROOF RAFTERS TO BEARING PLATES WITH TYPE H2.5A ANCHORS.
- MULTI-MEMBER BEAMS SHALL BE ATTACHED TOGETHER BY GLUING AND NAILING WITH 10D NAILS AT 6" O.C. STAGGERED TOP AND BOTTOM. 7. FLITCH BEAMS SHALL BE ATTACHED TOGETHER USING 1/2" DIAMETER THRU BOLTS AT 12" O.C
- STAGGERED TOP AND BOTTOM. PROVIDE STANDARD FLAT WASHER EACH SIDE OF BEAM. BOLT HEADS AND NUTS MAY BE COUNTERSUNK WHERE REQUIRED FOR FINISH OUT. (MAX. 1/2").
- SIMPLE SPAN WOOD MEMBERS, NOT SHOP CHAMBERED, SHALL BE ERECTED WITH THE NATURAL CAMBER UP. FOR CANTILEVERED WOOD MEMBERS, CONSULT WITH ENGINEER. PROVIDE DOUBLE STUD TO SUPPORT ALL BEAMS, GIRDERS, AND HIP TRUSSES UNLESS POSTS
- ARE SPECIFIED. 10. LAP FRAMING MEMBERS WHICH BEAR ON 2x STUDS OR PLATES TO PROVIDE FULL BEARING FOR
- EACH MEMBER. 11. ALL EXTERIOR STUD WALLS SHALL BE 2x6 AT 16" O.C. AND INTERIOR LOAD BEARING STUD WALLS TO BE 2x4 AT 16 O.C. PROVIDE WIND BRACING AS SHOWN ON PLANS. REFER TO
- ARCHITECTURAL PLANS FOR NON-LOAD BEARING STUD WALLS. 12. ALL STUD WALLS TO BE CONNECTED TO FOUNDATION WITH 5/8" DIAMETER x 1'-0" (AT LEAST 8"
- INTO CONCRETE) "J" BOLTS SPACED AT 32" O.C. MAXIMUM. PROVIDE TWO AT EACH CORNER. 13. ALL HEADERS TO BE (2) 2X8 MINIMUM UNLESS NOTED OTHERWISE OR ON SCHEDULE OR PLANS.
- DIAPHRAGM NAILING SHALL CONFORM TO SECTION 2306 OF IBC 2012 WITH NOMENCLATURE DEFINED AS FOLLOWS
- BN = NAILING AT DIAPHRAGM BOUNDARIES, CONTINUOUS PANEL EDGES, AND AT EDGES OF OPENING.
- EN = EDGE NAILING FN = FIELD NAILING
- MINIMUM NAILING OF WOOD SHALL BE PER TABLE 2304.9.1 OF THE IBC UNLESS NOTED 15. OTHERWISE ON DRAWINGS.
- 16. EACH ANCHOR BOLT SHALL HAVE A MINIMUM 0.25 INCH BY 3 INCHES BY 3 INCHES STEEL PLATE WASHER BETWEEN THE SILL PLATE AND NUT
- 17. LUMBER SHALL BE DRY AND WELL SEASONED, AND THE MOISTURE CONTENT SHALL NOT EXCEED 19% AT THE TIME THE STRUCTURE IS WRAPPED. ALL LUMBER SHALL BE AIR-SEASONED NOT LESS THAN 30 DAYS BEFORE BEING COVERED WITH FINISHING MATERIALS UNLESS TESTS
- ARE MADE OF ITS MOISTURE CONTENT 18. ALL WOOD RESTING ON CONCRETE OR MASONRY (MUD SILL) SHALL BE PRESERVATIVE TREATED DOUGLAS FIR. ALL WOOD EMBEDDED IN CONCRETE OR IN CONTACT WITH SOIL SHALL BE PRESERVATIVE TREATED DOUGLAS FIR.
- SOLID FRAMING LUMBER REQUIRED TO BE PRESERVATIVE TREATED SHALL BE PRESSURE 19 TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION AWPA STANDARD C-2. LUMBER. TIMBERS BRIDGE AND MINE TIES-PRESSURE TREATMENT. PLYWOOD REQUIRED TO BE PRESERVATIVE TREATED SHALL BE PRESSURE TREATED IN ACCORDANCE WITH AMERICAN WOOD PRESERVERS ASSOCIATION, AWPA STANDARD C-9.
- PLYWOOD-PRESERVATIVE TREATMENT. TREATMENT SHALL APPROPRIATE FOR THE LOCATION OF THE WOOD BEING EITHER ABOVE GROUND OR GROUND CONTACT. TREATMENT SHALL BE WITH AMMONIACAL COPPER ZINC ARSENATE (CHEMONITE). A GRADE MARK INDICATING CONFORMANCE TO THE TREATING STANDARD, AND THE TYPE OF TREATMENT SHALL BE
- AFFIXED TO THE MATERIAL. THE INSPECTION AGENCY SHALL BE INDEPENDENT OF THE STREATING PLANT. THE INSPECTION AGENCY SHALL BE UNDER THE SUPERVISION OF THE AMERICAN WOOD PRESERVERS BUREAU INSPECTION SHALL BE IN ACCORDANCE WITH AWPB LP, STANDARD. AFTER INSTALLATION, EXPOSED SURFACES SHALL BE PROTECTED WITH A
- MINIMUM OF TWO COATS OF SEALER. INTERIOR SURFACES SHALL BE COVERED BY FRAMING OR DRYWALL SHEAR TRANSFER
- ROOF TO WALL: CONNECT ROOF TRUSSES TO TOP PLATE w/ SIMPSON TC 26 OR PER SHEAR TRANSFER DETAILS. FLOOR TO WALL: CONNECT JOIST RIM OR JOIST TO WALL PLATE w/ 16d AT 12" O.C., OR SOLID BLOCKING OR RIM TO WALL PLATE w/ A35 A35F, OR LPT4 AT 24" O.C. OR PER SHEAR TRANSFER DETAILS SILL PLATE ANCHORS:
- UPPER FLOOR WALLS: 16d AT 6" O.C. TO JOIST OR 2x SOLID BLOCKING, AT SHEARWALLS. NAIL PER SCHEDULE INTO JOIST, RIM, 2x EDGE, OR 2x FLAT TO ACHIEVE REQUIRED SPACING, SEE DETAILS.
- FIRST STORY WALLS: .145 DIA.x2 7/8" HILTI SDM OR X-ZF LOW VELOCITY DRIVE FASTENERS A 16" O.C. EXTERIOR, OR 32" O.C. INTERIOR, INSTALLED PER ICBO EVALUATION REPORT 2388 5/8" DIA. x 12" ANCHOR BOLTS AT 4'-0" O.C. AND NOT MORE THAN 9" FROM ENDS.
- WHERE THE DIAPHRAGM BLOCKING IS SPECIFIED. USE 2x4 BLOCKING (WITH "Z" CLIPS), U.O.N. PROVIDE DOUBLE STUD TO SUPPORT ALL BEAMS, GIRDERS, AND HIP TRUSSES UNLESS POSTS 23.
- ARE SPECIFIED. PROVIDE DOUBLE BLOCKING UNDER ALL POSTS.
- TOP PLATES OF ALL WOOD STUD WALLS SHALL BE (2) 2x (SAME WIDTH AS STUDS), LAP 48" (MIN.) 25. WITH AT LEAST (16) 16d NAILS AT EACH SIDE OF LAP AND NOT MORE THAN 12" BETWEEN, U.N.O.
- 26. PROVIDE 2x4 TRIM AND 2x4 KING STUD EACH END OF EACH 4x DROPPED BEAM OR HEADER. PROVIDE 2x6 TRIM AND 2x6 KING STUD EACH END OF EACH 6x DROPPED BEAM OR HEADER. 27.
- PROVIDE MINIMUM 2 1/4" BEARING AT EACH END OF EACH FLUSH BEAM OR HEADER. WHERE 28. BEARING IS ON TOP PLATE PROVIDE 2x4 STUD WITHIN 3" OF BEARING POINT. PROVIDE (3) 2x4 STUDS AT 6x OR LSL OR PSL BEAMS
- WHERE JOISTS, RAFTERS, OR BEAMS FRAME TOGETHER OR TO EACH OTHER AT THE SAME ELEVATION, PROVIDE FACE NAIL HANGER OR TOP FLANGE HANGERS. MULTI-MEMBER BEAMS SHALL BE ATTACHED TOGETHER BY GLUEING AND NAILING WITH 10D
- NAILS AT 6" O.C. STAGGERED TOP AND BOTTOM.

N/A N/A N/A N/A N/A

#### STRUCTURAL STEEL

1. MATERIAL AND WORKMANSHIP SHALL CONFORM TO THE LATEST EDITION OF THE AISC SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.

STRUCTURAL STEEL SHALL COMPLY WITH THE FOLLOWING ASTM DESIGNATIONS:				
MATERIAL	DES	IGNATION	STRENGTH	
ANCHOR RODS	F1554		Fy=36 ksi	
PLATES	A36		Fy=36 ksi	
ANGLES	A36		Fy=36 ksi	
CHANNELS	A36		Fy=36 ksi	
WIDE FLANGE SHAPES	A992		Fy=50 ksi	
STEEL PIPE	A53	GRADE B	Fy=35 ksi	
SQUARE & RECT. STEEL TUBES (HSS)	A500	GRADE B	Fy=46 ksi	
ROUND TUBES (HSS)	500	GRADE B	Fy=42 ksi	

3. ALL STRUCTURAL STEEL SHALL BE FABRICATED, ERECTED, AND PAINTED IN ACCORDANCE WITH THE SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS AS AMENDED TO DATE AND THE CODE OF STANDARD PRACTICE, LATEST EDITION AS ADOPTED BY THE AMERICAN

INSTITUTE OF STEEL CONSTRUCTION WELDING SHALL BE DONE IN ACCORDANCE WITH THE STANDARD CODE FOR ARC AND GAS WELDING IN BUILDING CONSTRUCTION AS PUBLISHED BY THE AMERICAN WELDING SOCIETY, EXCEPT THAT ALL WELDING SHALL BE DONE BY THE ELECTRIC ARC PROCESS. ALL WELDING SHALL BE PERFORMED BY CERTIFIED WELDERS AND SHALL CONFORM TO ANSI/AWS D1.1-04 5. CONNECTION DESIGN: DELEGATED DESIGN

- A. ALL DETAILED AND/OR SCHEDULED CONNECTIONS ARE TO BE CONSIDERED CONCEPTUAL AND SHALL BE DESIGNED BY THE STEEL FABRICATOR WITH SIGNED AND SEALED CALCULATIONS BY A TEXAS LICENSED PROFESSIONAL ENGINEER. B. ANY CONNECTIONS NOT DETAILED OR SCHEDULED OR ALTERED FOR FABRICATION
- PURPOSES SHALL BE DESIGNED AND DETAILED BY THE FABRICATOR AND SHALL BE MARKED FOR THE ENGINEER'S VERIFICATION. C. CONNECTIONS SHALL BE DESIGNED ACCORDING TO THE REACTIONS INDICATED ON THE
- STRUCTURAL DRAWINGS. ALL REACTIONS SHOWN ARE BASED ON SERVICE LOADS AND ARE INTENDED FOR USE WITH THE ALLOWABLE STRENGTH DESIGN (ASD) METHOD UNLESS NOTED OTHERWISE. IF NO REACTIONS SHOWN, DESIGN BEAM CONNECTIONS TO SUPPORT AT LEAST 50% OF THE MAXIMUM TOTAL UNIFORM LOAD CAPACITY SHOWN IN TABLE 3-6 OF THE AISC MANUAL
- D. THE CONCEPTUAL CONNECTION DETAILS SHOWN INDICATE THE CONNECTION TYPE REQUIRED AND MAY NOT FULLY REFLECT THE FINAL COMPLEXITY OR SCOPE OF THE CONNECTION
- ADDITIONAL CONNECTION ELEMENTS MAY BE REQUIRED IN THE FINAL DESIGN SUCH AS: STIFFENER PLATES, DOUBLER PLATES, SHIMS, AND/OR OTHER CONNECTION MATERIAL ALL CONNECTION PLATES AND STIFFENERS SHALL BE MADE WITH 1/4" THICK PLATES, UNLESS OTHERWISE NOTED ON PLANS.
- SEE ARCHITECTURAL PLANS FOR MISCELLANEOUS STEEL ITEMS NOT INDICATED ON STRUCTURAL DRAWINGS. STEEL ITEMS SHOWN ON ARCHITECTURAL DRAWINGS AND NOT SPECIFIED ON THE STRUCTURAL DRAWINGS SHALL BE DESIGN BY THE STEEL FABRICATOR. SEE DESIGN CRITERIA FOR LOADING.
- 7. ALL WELDED CONNECTIONS SHALL BE MADE USING 1/4" FILLET WELD, U.N.O. 8. ALL BOLTED CONNECTIONS SHALL BE MADE USING 3/4" DIAMETER HIGH STRENGTH BOLTS, ASTM A325, BEARING TYPE CONNECTION w/ WASHERS ASTM F436, U.N.O. ON DESIGN DRAWINGS. SPECIAL INSPECTION REQUIRED FOR ALL HIGH STRENGTH BOLTING.
- ALL NUTS SHALL BE PER ASTM A563 9. ALL CONNECTION PLATES AND STIFFENERS SHALL BE MADE WITH 1/4" THICK PLATES, UNLESS OTHERWISE NOTED ON PLANS.
- 10. ALL STEEL (INCLUDING BOLTS) EXPOSED TO THE WEATHER SHALL BE HOT DIPPED GALVANIZED. (INCLUDES STEEL THAT IS ONLY COVERED WITH PLASTER OR STUCCO). SEE
- ARCHITECTURAL PLANS IF STRICTER REQUIREMENTS ARE REQUIRED. 11. ALL EXPOSED STEEL SHALL FOLLOW SECTION 10 OF THE CODE OF STANDARD PRACTICE OF AISC SECTION 10 OF THE CODE ADDRESSES ARCHITECTURALLY EXPOSED STRUCTURAL STEEL (AESS)
- CONNECTIONS SHALL BE PER HOLLOW STRUCTURAL SECTIONS, CONNECTION MANUAL BY AISC WHERE STEEL MEMBER PASS THROUGH CMU WALLS, PROVIDE HALF INCH GAP BETWEEN 13 THE CMU AND THE STEEL MEMBER. PROVIDE ELASTOMERIC MATERIAL BETWEEN THE THE STEEL MEMBER AND CMU WALL. PROVIDE FIRE PROOF ELASTORMERIC MATERIAL WHERE REQUIRED
- 14. ALL BEAMS NOT SHOWN SHALL BE W18x35. ALL COLUMNS NOT SHOWN SHALL BE HSS 5X5x1/4. STEEL FABRICATOR SHOP SHALL BE AISC CERTIFIED. 16. HOLES FOR BOLTS IN STRUCTURAL STEEL SHALL BE DRILLED OR PUNCHED. BURNING
- OF HOLES SHALL NOT BE PERMITTED. UNLESS NOTED OTHERWISE, HOLES SHALL BE STANDARD SIZE 1/16 INCH LARGER THAN THE BOLT, UNLESS NOTED OTHERWISE. ALL STRUCTURAL STEEL SHAPES SHALL BE PRIMED WITH A RUST RESISTANT PRIMER BEFORE SHIPMENT TO THE PROJECT SITE. PRIMER SHALL NOT BE APPLIED TO THE MMEDIATE AREA OF STEEL INTENDED TO RECEIVE SLIP CRITICAL BOLTED CONNECTIONS
- HIGH STRENGTH BOLTS INSTALLATION SHALL BE CONTINUOUSLY INSPECTED BY A SPECIAL INSPECTOR. FOLLOWING ARE REQUIREMENTS OF THE SPECIAL INSPECTOR: A. THE INSPECTOR SHALL VERIFY THE MILL CERTIFICATES FOR MATERIAL. B. THE INSPECTOR SHALL VERIFY THAT THE MATERIAL USED ARE PROPERLY STORED AND
- PREPARED FOR USE. C THE INSPECTOR SHALL VERIEV THAT CONSTRUCTION DETAILS. PROCEDURES, TOOL CALIBRATIONS, WORKMANSHIP ARE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND BUILDING CODE
- D. FOR SNUG-TIGHT CONNECTIONS, THE INSPECTOR SHALL VERIFY THAT THE PLIES OF THE CONNECTED ELEMENTS HAVE BEEN BROUGHT INTO SNUG CONTACT WITH EACH OTHER. E. FOR SLIP-TIGHT CONNECTIONS, THE INSPECTOR SHALL VERIFY THE PRETENSION METHOD SELECTED BY THE CONTRACTOR HAS INDUCED THE REQUIRED MINIMUM TENSION
- IN THE BOLT IN ACCORDANCE TO THE AISC SPECIFICATION TABLE J3.1. F. A CERTIFICATE OF INSPECTION SHALL BE FURNISHED BY THE SPECIAL INSPECTOR TO THE BUILDING OFFICIAL PRIOR TO SCHEDULED INSPECTION AND TO THE ARCHITECT AND ENGINEER.
- WELDING IN THE FIELD SHALL BE CONTINUOUSLY INSPECTED, BY A SPECIAL INSPECTOR FOLLOWING ARE REQUIREMENTS OF THE SPECIAL INSPECTOR: A. THE INSPECTOR SHALL VERIFY THAT THE MATERIAL USED ARE PROPERLY STORED AND
- PREPARED FOR USE. THE INSPECTOR SHALL VERIFY THE WELDER'S QUALIFICATIONS.

19.

THE INSPECTOR SHALL VERIFY THAT CONSTRUCTION DETAILS, PROCEDURES AND WORKMANSHIP ARE IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS AND BUILDING CODE. A CERTIFICATE OF INSPECTION SHALL BE FURNISHED BY THE SPECIAL INSPECTOR TO THE BUILDING OFFICIAL PRIOR TO SCHEDULED INSPECTION AND TO THE ARCHITECT AND ENGINEER.

20. ALL NON SHRINK GROUT FOR LEVELING OF BASE PLATES SHALL HAVE A MINIMUM 5000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. GROUT SHALL COMPLY WITH CORPS OF ENGINEERS SPECIFICATION CRD-C 621.

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DRAWN BY: MR CHECKED BY: RH, AT DATE: 10/14/2019

STRUCTURAL GENERAL NOTES





















1 DEMO ROOF PLAN - BUILDING "A" 1/8" = 1'-0"



### DEMOLITION GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT, ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION

DEMOLITION AND ALTERATION NOTES

3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING, REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS

4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION, THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE, REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED

5. STRUCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERETO

STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARING AS A MINIMUM, REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS

7. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED

8. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE

9. PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY, PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS, REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS

10. CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER.

11. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK, PROVISION & CONTROL OF ALL MEANS& METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS. INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY.

12. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK.

13. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERRUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

2. REFER TO PREVIOUS PHASE MEP DRAWINGS FOR ADDITIONAL

- 6. STRUCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE

DEMOLITION KEYNOTES

- (1) REMOVE AND SALVAGE EXISTING GUTTER SYSTEM, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY
- (2) EXISTING LEADER BOX AND DOWNSPOUT TO REMAIN, PATCH REPAIR EXISTING WALL STRUCTURE AS NECESSARY. FLUSH EXISTING DOWNSPOUT TO WORKING CONDITIONS.
- (3) REMOVE AND SALVAGE EXISTING ROOF TILE SYSTEM TO DECK, PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE.
- DEMOLISH AND REMOVE EXISTING BUILT UP ROOF DOWN TO DECK, PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE AS REQ.
- 5 PATCH REPAIR EXISTING ROOF STRUCTURE AS REQ, REFER TO STRUCTURAL DRAWINGS

### DEMOLITION LEGEND



AREA NOT IN CONTRACT, NO SCOPE, REFER TO STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DETAILS AND NOTES



AS REQUIRED



REMOVED EXISTING, NO SCOPE, CONTRACTOR TO

PROTECT DURING CONSTRUCTION,

PATCH/REPAIR TO EXISTING CONDITION









#### DEMOLITION GENERAL NOTES

1. GENERAL CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT, ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION

2. REFER TO PREVIOUS PHASE MEP DRAWINGS FOR ADDITIONAL DEMOLITION AND ALTERATION NOTES

3. THE OWNER HAS FIRST RIGHT OF SALVAGE OF ALL FIXTURES, EQUIPMENT, & BUILDING MATERIALS REMOVED AS PART OF THIS CONTRACT, AND SHALL NOT BE REUSED IN THE NEW CONSTRUCTION UNLESS OTHERWISE NOTED OR DIRECTED IN WRITING, REMOVE ALL OTHER DEBRIS AND WASTE FROM THE SITE AND DISPOSE OF PROPERLY, IN ACCORDANCE WITH FEDERAL, STATE, & LOCAL REGULATIONS

4. FIELD VERIFY LOCATIONS OF ALL EXISTING EXTERIOR PUBLIC ADDRESS SPEAKERS, INTERCOM SPEAKERS, PLUGS, SWITCHES, HOSE BIBS, LIGHTS AND CONTROLS PRIOR TO DEMOLITION, THESE SYSTEMS MUST BE PUT BACK IN ORIGINAL AND FUNCTIONING CONDITION AFTER NEW CONSTRUCTION IS COMPLETE, REPLACE, PATCH, OR REPAIR ANY DAMAGED EXISTING COMPONENTS OR SYSTEMS, WHICH ARE INTERRUPTED OR DISTURBED

5. STRUCTURAL INTEGRITY: PROVIDE SUPPORT FOR THE EXISTING STRUCTURE TO REMAIN PRIOR TO PERFORMING ANY ALTERATION THERETO

6. STRUCTURAL INTEGRITY: UNLESS OTHERWISE INDICATED ON THE STRUCTURAL OR ARCHITECTURAL DRAWINGS, NEW OPENINGS CUT INTO EXISTING MASONRY WALLS, WHETHER BEARING OR NON-BEARING, SHALL RECEIVE LOOSE LINTELS WITH 8" BEARING AS A MINIMUM, REFER TO STRUCTURAL DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS

7. CUTTING & PATCHING: PROVIDE MATERIALS FOR CUTTING & PATCHING WHICH WILL RESULT IN EQUAL OR BETTER WORK THAN THAT BEING CUT OR PATCHED

8. ANY EXISTING CONSTRUCTION THAT IS TO BE REMOVED, SHALL BE REMOVED CAREFULLY SO AS NOT TO DAMAGE ANY EXISTING CONSTRUCTION THAT IS TO REMAIN. FLOORS, WALLS, AND CEILINGS ARE TO BE PATCHED TO MATCH EXISTING CONDITIONS AND MADE READY TO RECEIVE ANY NEW FINISHES WHERE APPLICABLE

9. PLUMBING LINES THAT ARE TO BE REMOVED SHALL BE REMOVED COMPLETELY, PATCH WALLS AND FLOOR TO MATCH EXISTING CONDITIONS, REFER TO PLUMBING DRAWINGS AND NOTES FOR ADDITIONAL REQUIREMENTS

10. CONTRACTOR SHALL MAINTAIN BUILDING INTEGRITY, BUILDING SECURITY, AND WEATHER-TIGHT BUILDING ENVELOPE (TO INCLUDE EXTERIOR WALL(S), ROOF, EXTERIOR OPENINGS, ETC.) DURING CONSTRUCTION. CONTRACTOR TO COORDINATE BUILDING ACCESS WITH OWNER.

11. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR COORDINATION & SCHEDULING OF THE CONSTRUCTION WORK, PROVISION & CONTROL OF ALL MEANS& METHODS OF CONSTRUCTION, FIRE PREVENTION, COORDINATION, ORDERING, DELIVERY & STORAGE OF MATERIALS, REMOVAL OF DEBRIS, INSTALLATION OF PROTECTIVE FENCE & ALL ASPECTS OF JOB SAFETY.

12. PROVIDE ALL NECESSARY BARRICADES, FENCING, AND ISOLATION SYSTEMS AS REQUIRED TO PROTECT THE OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY OR WELL-BEING FROM DEMOLITION WORK.

13. GENERAL CONTRACTOR SHALL COORDINATE ALL MEP OR UTILITY INTERRUPTIONS WITH OWNER DIRECTLY DURING THE COURSE OF CONSTRUCTION.

1 DEMO ROOF PLAN - BUILDING "B"

### DEMOLITION KEYNOTES

- 6 DEMOLISH & REMOVE EXISTING ROOF DRAIN SYSTEM AND DOWNSPOUT, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
- (7) EXISTING COPING TO REMAIN.
- 8 DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- (9) DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALLATION OF NEW ACCESS HATCH.
- (10) DEMOLISH AND REMOVE EXISTING STEEL STRUCTURE
- (11) PENETRATE EXISTING PARAPET WALL AND PREPARE FOR INSTALLATION OF NEW SCUPPER
- (12) MECHANICAL EQUIPMENT TO BE REMOVED. SEAL OPENING AND PREPARE FOR NEW ROOF.
- ALTERNAITVE 1 DEMO EXISITNG SHEATHING OVER (13) SKYLIGHT
- 14 PATCH REPAIR EXISTING BLOCKING AT PARAPET AND PREPAIR TO RECEIVE NEW METAL COPING

## DEMOLITION LEGEND



AREA NOT IN CONTRACT, NO SCOPE, REFER TO STRUCTURAL AND MEP DRAWINGS FOR ADDITIONAL DETAILS AND NOTES



SURFACE MATERIAL TO BE DEMOLISHED AND REMOVED

- REMOVED
  - EXISTING, NO SCOPE, CONTRACTOR TO PROTECT DURING CONSTRUCTION, PATCH/REPAIR TO EXISTING CONDITION AS REQUIRED



NOT IN SCOPE

E 9TH ST

AVE

DOHERTY



"B"

(PHASE III)\_

D2.1



EXISTING PHOTO 1



EXISTING PHOTO



EXISTING PHOTO 8

EXISTING PHOTO 07



EXISTING PHOTO 3

<u>(1)</u>



EXISTING PHOTO 2





EXISTING PHOTO 6



(11)

(10/

EXISTING PHOTO 9



EXISTING PHOTO





#### GENERAL NOTES:

4

- ALL PHOTOGRAPHS SHOWN ARE EXISTING CONDITIONS. CONTRACTOR SHALL VISIT THE SITE TO FAMILIARIZE THEMSELVES WITH THE SCOPE OF WORK AND TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BIDDING THIS PROJECT, ANY DISCREPANCIES OR AMBIGUOUS ITEMS MUST BE REPORTED TO THE ARCHITECT PRIOR TO BIDDING OR COMMENCING WORK FOR CLARIFICATION.
- REFER TO SHEET D2.0 & D2.1 FOR DEMOLITION DETAILS 2 AND NOTES IN ACCORDANCE TO THESE PHOTOGRAPHS. LOCATION OF PHOTOS ARE SHOWN AS TYPICAL ON DEMOLITION PLAN.
- REFER TO SHEET A2.1 & A2.2 FOR NEW ROOF CONFIGURATIONS AND NOTES. 3
  - THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT INJURY OR DAMAGE TO ALL OTHER STRUCTURES NOT IN SCOPE. THE CONTRACTOR SHALL REBUILD, REPAIR OR RESTORE AT HIS OWN EXPENSE, ALL INJURIES OR DAMAGE TO ANY PORTION OF THE WORK BEFORE ITS COMPLETION AND ACCEPTANCE.

#### DEMOLITION KEYNOTES

- 1 REMOVE AND SALVAGE EXISTING GUTTER SYSTEM, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY
- 2 EXISTING LEADER BOX AND DOWNSPOUT TO REMAIN, PATCH REPAIR EXISTING WALL STRUCTURE AS NECESSARY. FLUSH EXISTING DOWNSPOUT TO WORKING CONDITIONS.
- (3) REMOVE AND SALVAGE EXISTING ROOF TILE SYSTEM TO DECK, PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE.
- (4) DEMOLISH AND REMOVE EXISTING BUILT UP ROOF DOWN TO DECK, PATCH REPAIR EXISTING DECK AND ROOF STRUCTURE AS REQ.
- 5 PATCH REPAIR EXISTING ROOF STRUCTURE AS REQ, REFER TO STRUCTURAL DRAWINGS

#### DEMOLITION KEYNOTES

- 6 DEMOLISH & REMOVE EXISTING ROOF DRAIN SYSTEM AND DOWNSPOUT, PATCH REPAIR EXISTING ROOF AND WALL STRUCTURE AS NECESSARY.
- (7) EXISTING COPING TO REMAIN.
- 8 DEMOLISH AND REMOVE EXISTING ROOF MEMBRANE DOWN TO DECK. PATCH REPAIR DECK AND ROOF STRUCTURE AS REQ.
- 9 DEMOLISH AND REMOVE EXISTING ROOF ACCESS HATCH PATCH REPAIR PENETRATION TO ROOF STRUCTURE AS REQ. PREPARE FOR INSTALLATION OF NEW ACCESS HATCH.
- (10) DEMOLISH AND REMOVE EXISTING STEEL STRUCTURE
- (1) PENETRATE EXISTING PARAPET WALL AND PREPARE FOR INSTALLATION OF NEW SCUPPER
- (12) MECHANICAL EQUIPMENT TO BE REMOVED. SEAL OPENING AND PREPARE FOR NEW ROOF.
- (13) ALTERNAITVE 1 DEMO EXISITNG SHEATHING OVER SKYLIGHT
- 14 PATCH REPAIR EXISTING BLOCKING AT PARAPET AND PREPAIR TO RECEIVE NEW METAL COPING

-(8)

<sub>/</sub>(7)

EXISTING PHOTO 12



Z

**REVISION:** 

ROOF RE SPEER ME AND MISS

REPL

DRAWN BY: HM CHECKED BY: CG3 DATE: 10-16-19



D2.2

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1<u>2</u>.

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20-07

RFP:





SITE GENERAL NOTES:

- 1. THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS PIPELINES, UTILITIES ECT. WHETHER PUBLICLY OR PRIVATELY OWNED.
- G.C. SHALL REPAIR ALL ASPHALT PAVING AND CONCRETE CURB, GUTTER, SIDEWALK, DRAINAGE, LANDSCAPING, OR ANY STRUCTURES DAMAGED DURING CONSTRUCTION.
- G.C. TO COORDINATE WORK WITH OWNER REPRESENTATIVE AND ARCHITECT. 3.

2 OVERALL SITE PLAN 1" = 30'-0"





OVERALL SITE PLAN (PHASE I)

A1.0

DATE: 10-16-19

DRAWN BY: Author CHECKED BY: JCG



2 NEW ROOF PLAN 1/16" = 1'-0"

N

3 ROOF PLAN UNDER METAL STRUCTURE 1/16" = 1'-0"

1. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.

2. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCAITON TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBLITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.

3. UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE

4. THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY TO USE SYSTEM OR PRODUCT

5. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES, REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS.

6. ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT TREATED

7. ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.

8. PROVIDE PRE0FINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

9. PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS

10. PROVIDE PRE-FINISHED GALVANZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

11. REFER TO MEP FOR EXPOSED PIPE AND ROOF EQUIPMENT SUPPORT, COORDINATED WITH ROOFING MANFUACTURER DETAILING FOR ROOF WARRANTY ADHERENCE.

12. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGOUND UTILITIES AND BUILDING SERVICE SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE. IF ANY SYSTEM IS DAMAGED DURING CONSTRUCTION OR FOR PREPARATION OF NEW CONSTRUCTION, CONTRACTOR SHALL PATCH/REPAIR DAMAGED SYSTEM TO EXISTING CONDITION.

13. GENERAL CONTRACTOR SHALL PROVIDE EXTRA CARE TO PREVENT DAMAGE TO EXISTING CONRETE WALKS, ASPHALT/CONCRETE DRIVE/PARKING AREAS, OR LANDSCAPE AREAS OUTSIDE OF CONSTUCTION LIMITS, AND AND ALL DAMAGE SHALL BE PATCHED/REPARIED TO EXISTING CONDITIION

14. GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND ARCHITECT

15. GENERAL CONTRACTOR TO CAREFULLY REMOVE SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REVOVED TO PROVIDE NEW ROOFING SYSTEM, ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION

OR REMOVAL

3/4" REBAR RUNG



16. GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION



4 ACCESS LADDER 1" = 1'-0"



# **KEYNOTES**

- 1 ROOF NOT IN SCOPE OF WORK
- 2 NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK AS SPECIFIED.
- RESET AND FIX EXISISTING ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING. 5" MIN. CURB 3 HEIGHT. REFER TO 5/A1.1
- NEW PRE-FINISHED ALUMINUM SCUPPER WITH 4 DOWNSPOUT. SECURE AND SUPPORT TO BUILDING AS REQ.
- NEW PRE-FINISHED ALUMINUM GUTTER SYSTEM. 5
- EXISTING METAL ROOF TO BE RE-SEALED AND POINTED AT ALL EDGES AND JOINTS. PATCH REPAIR 6 ANY DAMAGED FLASHING AND DRIP EDGES.
- 7 PROVIDE NEW ROOF ACCESS LADDER, REFER TO DETAIL 4/A1.1
- 8 PATCH REPAIR STUCCO AS REQ.
- RE-SEAL EXISTING WINDOWS. REPAIR ANY
- DAMAGED WINDOWS AS NEEDED. 10 NEW METAL CAP AT OUT WALL
- NEW METAL CAP AT PARAPET WALL 11

# ROOF AREA KEYNOTE:

# MAIN ROOF AREAS:

## A B C D **OVERALL ROOF AREAS**

А	13,000 SF
В	1,560 SF
С	11,430 SF
D	5,590 SF

TOTAL SF 31,580 SF

STAND OFF BRACKET WITH 9/16" HOLE MOUNTS TO WALL

BASE BID: 4 STEP STEEL STANDARD UNCAGED FIXED ACCESS LADDER, GRAY - WLFS0104 ITEM #: WG703604GY



**NEW ROOF** PLAN (PHASE I)

A1.1



![](_page_12_Figure_1.jpeg)

![](_page_12_Figure_2.jpeg)

![](_page_12_Figure_3.jpeg)

S METAL ROOF		ENTRY CIRCULAR OUT WALL BEYOND	
G 3X3 WINDOW TO TYP.	$\left  \right $	NEW COPING @ OUTWALL	EXISTING METAL ROOF TO REMAIN

EXISTING METAL ROOF TO REMAIN

EXISTING WINDOW TO RMAIN, TYP. EXISTING DOUBLE DOORS TO REMAIN TYP.

 EXISTING STUCCO
WALL TO REMAIN NEW PRE-FINISHED ALUMINUM GUTTER SYSTEM

- EXISTING FOUNDATION TO REMAIN

EXISTING METAL ROOF TO REMAIN

NEW PRE-FINISHED ALUMINUM GUTTER SYSTEM

- EXISTING EXTERIOR DOOR TO

REMAIN

- NEW PRE-FINISHED ALUMINUM GUTTER SYSTEM

![](_page_12_Picture_19.jpeg)

ROOF REPLACEMENT FOR SPEER MEMORIAL LIBRARY AND MISSION HISTORICAL MUSEUM RFP: 20-074-12-09 MISSION, TX 78572

**REVISION**:

DRAWN BY: HM CHECKED BY: CG3 DATE: 10-16-19

![](_page_12_Picture_23.jpeg)

A1.2

![](_page_13_Figure_0.jpeg)

![](_page_13_Figure_1.jpeg)

7 METAL VALLEY DETAIL 3" = 1'-0" 8 METAL ROOF SOFFIT 1 1/2" = 1'-0" FIELD WELD TERMINATION BAR AND APPROVED FASTENERS SPACED 6" O.C. AROUND APPROVED SEALENT ENTIRE OPENING OF SCUPPER FIELD-FABRICATED SUPPORT CUSTOM-FABRICATED BRACKETS SCUPPER FLASHING FACTORY WELD 2-PIECE REGLET COUNTERFLASHING RIVETED A MAXIMUM OF 24 INCHES ON CENTER (BY OTHERS) NEW GUTTER TERMINATION BAR AND SYSTEM -FASTENERS SPACED 6 INCHES ON CENTER INSULATION AS NEEDED -APPROVED VAPOR SEALANT BARRIOR NEW TAPERED INSULATION MEMBRANE EXISTING DECK TO REMAIN

13 CLOSED END MEMBRANE SCUPER 1 1/2" = 1'-0"

![](_page_13_Figure_5.jpeg)

![](_page_13_Figure_14.jpeg)

![](_page_14_Figure_0.jpeg)

EXISTING METAL ROOF SYSTEM, REFER TO BASE BID

![](_page_14_Figure_2.jpeg)

# **ROOF GENERAL NOTES**

1. CONTRACTOR SHALL REVIEW AND COORDINATE WITH ARCHITECTURAL PLANS TO ASCERTAIN EXACT CONDITIONS AND COMPONENTS RELATED TO THE WORK DESCRIBED BY THESE DOCUMENTS. ALL WORK SHALL BE IN ACCORDANCE WITH ACCEPTED MANUFACTURER'S PRINTED INSTRUCTIONS AND NRCA STANDARDS.

2. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCATION, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBILITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.

3. UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE

4. THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY TO USE SYSTEM OR PRODUCT

5. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES, REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE CONTRACT DOCUMENTS.

6. ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT TREATED

7. ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.

8. PROVIDE PRE0FINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

![](_page_14_Figure_12.jpeg)

3 ALTERNATE No 1 - NORTH ELEVATION 3/32" = 1'-0"

9. PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL DOWNSPOUT LOCATIONS

10. PROVIDE PRE-FINISHED GALVANIZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

11. REFER TO MEP FOR EXPOSED PIPE AND ROOF EQUIPMENT SUPPORT, COORDINATED WITH ROOFING MANUFACTURER DETAILING FOR ROOF WARRANTY ADHERENCE.

12. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGROUND UTILITIES AND BUILDING SERVICE SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE. IF ANY SYSTEM IS DAMAGED DURING CONSTRUCTION OR FOR PREPARATION OF NEW CONSTRUCTION, CONTRACTOR SHALL PATCH/REPAIR DAMAGED SYSTEM TO EXISTING CONDITION.

13. GENERAL CONTRACTOR SHALL PROVIDE EXTRA CARE TO PREVENT DAMAGE TO EXISTING CONCRETE WALKS, ASPHALT/CONCRETE DRIVE/PARKING AREAS, OR LANDSCAPE AREAS OUTSIDE OF CONSTRUCTION LIMITS, AND ALL DAMAGE SHALL BE PATCHED/REPAIRED TO EXISTING CONDITION

14. GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH OWNER AND ARCHITECT

15. GENERAL CONTRACTOR TO CAREFULLY REMOVE, SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REMOVED TO PROVIDE NEW ROOFING SYSTEM, ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION

16. GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL

![](_page_14_Figure_23.jpeg)

 $\left( A \right)$ 

ALUMINUM WINDOW AS SPECIFIED, 1" INSULATED

![](_page_14_Picture_33.jpeg)

A1

![](_page_15_Figure_0.jpeg)

![](_page_15_Picture_3.jpeg)

A1.5

![](_page_16_Picture_1.jpeg)

![](_page_16_Picture_2.jpeg)

![](_page_16_Picture_3.jpeg)

E TOM LANDRY ST.

#### SITE GENERAL NOTES:

- 1. THE G.C. SHALL EXERCISE EXTRA CARE TO PREVENT DAMAGE TO ALL OTHER STRUCTURES IN THE AREA INCLUDING BUILDINGS, FENCES, ROADS PIPELINES, UTILITIES ECT. WHETHER PUBLICLY OR PRIVATELY OWNED.
- 2. G.C. SHALL REPAIR ALL ASPHALT PAVING AND CONCRETE CURB, GUTTER, SIDEWALK, DRAINAGE, LANDSCAPING, OR ANY STRUCTURES DAMAGED DURING CONSTRUCTION.
- 3. G.C. TO COORDINATE WORK WITH OWNER REPRESENTATIVE AND ARCHITECT.

![](_page_16_Picture_8.jpeg)

DATE: 10-16-19

![](_page_16_Picture_10.jpeg)

A2.0

![](_page_17_Figure_0.jpeg)

![](_page_17_Picture_1.jpeg)

# **ROOF GENI**

1. CONTRACTOR SHALL REVI ARCHITECTURAL PLANS TO AND COMPONENTS RELATE THESE DOCUMENTS. ALL W WITH ACCEPTED MANUFAC AND NRCA STANDARDS.

2. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCAITON, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBLITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.

3. UPON SUBSTANTIAL COMPLETION THE GENERAL CONTRACTOR SHALL EXAMINE AND ENSURE DRAIN LINES, GUTTERS AND DOWNSPOUTS ARE FREE OF DEBRIS AND BLOCKAGE, FLUSH WITH WATER TO ENSURE THAT DRAINS FLOW FREELY, WHERE APPLICABLE

TO USE SYSTEM OR PRODUCT

CONTRACTOR SUPPLIED EQUIPMENT OR SERVICES, CONTRACT DOCUMENTS.

TREATED

AND LOCATIONS

DOWNSPOUT LOCATIONS

LOCATIONS

DETAILING FOR ROOF WARRANTY ADHERENCE.

PREVENT DAMAGE TO EXISTING CONRETE WALKS, DAMAGE SHALL BE PATCHED/REPARIED TO EXISTING CONDITIION

OWNER AND ARCHITECT

16. GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL

ERAL NOTES
------------

IEW AND COORDINATE WITH
ASCERTAIN EXACT CONDITIONS
URER'S PRINTED INSTRUCTIONS

- 4. THE USE OF THE TERM "PROVIDE" SHALL CONSTITUTE THE MEANING OF FURNISH AND INSTALL A COMPLETE AND READY
- 5. GENERAL CONTRACTOR SHALL PROVIDE ALL REQUIRED UTILITY, MEP, AND/OR STRUCTURAL COMPONENTS FOR ALL REGARDLESS OF ANY OMISSIONS OR INCONSISTENCIES IN THE
- 6. ALL WOOD BLOCKING AT ROOF SHALL BE FIRE-RETARDANT
- 7. ALL FLASHING, METAL AND MEMBRANE, SHALL BE MINIMUM OF 8" FROM ADJACENT SURFACE AND SHALL BE INSTALLED AND MAINTAINED TO PREVENT WEATHER TIGHTNESS.
- 8. PROVIDE PRE0FINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE
- 9. PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL
- 10. PROVIDE PRE-FINISHED GALVANZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND
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- 12. GENERAL CONTRACTOR SHALL VERIFY LOCATION OF ALL UNDERGOUND UTILITIES AND BUILDING SERVICE SYSTEMS PRIOR TO CONSTRUCTION TO PREVENT DAMAGE. IF ANY SYSTEM IS DAMAGED DURING CONSTRUCTION OR FOR PREPARATION OF NEW CONSTRUCTION, CONTRACTOR SHALL PATCH/REPAIR DAMAGED SYSTEM TO EXISTING CONDITION.
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- 14. GENERAL CONTRACTOR TO COORDINATE ALL WORK WITH
- 15. GENERAL CONTRACTOR TO CAREFULLY REMOVE, SALVAGE, STORE, ANY ROOF MOUNTED EQUIPMENT THAT MUST BE REVOVED TO PROVIDE NEW ROOFING SYSTEM, ANY DISTURBED ROOF MOUNTED EQUIPMENT MUST BE RE-INSTALLED OR RELOCATED TO EXISTING WORKING CONDITION

![](_page_17_Picture_34.jpeg)

ROOF NOT IN SCOPE OF WORK 1

> NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK.

- NEW CLAY TILE ROOF SYSTEM OVER WEATHER
- PROOFING MEMBRANE OVER EXISTING DECK
- REINSTALL SALVAGED GUTTER AND DOWNSPOUT 4 SYSTEM TO EXISTING LEADER BOX. SECURE AND SUPPORT TO BUILDING AS REQ. EXTEND DOWNSPOUTS AT BASE TO NEW SPLASH BLOCK.
  - NEW ROOF ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING
- 6 NEW CONCRETE SPLASH BLOCK

![](_page_17_Picture_42.jpeg)

![](_page_17_Picture_43.jpeg)

![](_page_17_Picture_44.jpeg)

![](_page_17_Picture_45.jpeg)

![](_page_18_Figure_0.jpeg)

![](_page_18_Figure_1.jpeg)

![](_page_18_Figure_2.jpeg)

![](_page_18_Figure_3.jpeg)

2. DIMENSIONS, DETAILS, EQUIPMENT SIZE AND LOCATION SHOWN ON THESE ROOF PLAN AND ROOF DETAILS ARE FOR INFORMATION AND REFERENCE ONLY. EXACT SIZE, LOCAITON, TYPE OF MATERIAL AND TYPE OF CONSTRUCTION ARE THE RESPONSIBLITY OF THE SUBCONTRACTOR TO CONFIRM AND GENERAL CONTRACTOR TO COORDINATE.

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8. PROVIDE PRE0FINISHED GALVANIZED METAL GUTTER SYSTEM UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

DOWNSPOUT LOCATIONS

10. PROVIDE PRE-FINISHED GALVANZED METAL DOWNSPOUTS UNLESS OTHERWISE NOTED, MATCH EXISTING SIZE AND LOCATIONS

11. REFER TO MEP FOR EXPOSED PIPE AND ROOF EQUIPMENT SUPPORT, COORDINATED WITH ROOFING MANFUACTURER DETAILING FOR ROOF WARRANTY ADHERENCE.

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16. GENERAL CONTRACTOR SHALL COORDINATE ANY ROOF MOUNTED EQUIPMENT WITH OWNER PRIOR TO RELOCATION OR REMOVAL

![](_page_18_Figure_19.jpeg)

9. PROVIDE CONCRETE SPLASHBLOCKS TYPICAL AT ALL

**KEYNOTES** 

1 ROOF NOT IN SCOPE OF WORK

2 NEW SINGLE PLY MEMBRANE ROOFING SYSTEM WITH TAPERED INSULATION OVER EXISTING DECK.

3 NEW ROOF ACCESS HATCH. REFER TO SPECS FOR NEW CURB FLASHING, REFER TO 1/A3.1

NEW PRE-FINISHED ALUMINUM SCUPPER WITH 4 DOWNSPOUT. SECURE AND SUPPORT TO BUILDING AS REQ.

5 NEW CONCRETE SPLASH BLOCK

![](_page_18_Picture_29.jpeg)

NOT IN SCOPE

E 9TH ST

B

AVE

HERTY

![](_page_18_Picture_32.jpeg)

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HINOJO, ENGINEERING, STRUCTURAL ENGINEERI

108 W. 1 (956) 581 E-

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![](_page_18_Picture_33.jpeg)

![](_page_18_Picture_35.jpeg)

![](_page_19_Figure_0.jpeg)

EXISTING RAMP TO REMAIN ——

4 MUSEUM WEST 1/8" = 1'-0"

![](_page_19_Figure_5.jpeg)

![](_page_19_Picture_6.jpeg)

![](_page_20_Figure_0.jpeg)

.

.

![](_page_20_Figure_2.jpeg)

![](_page_21_Figure_0.jpeg)

5 PARAPET DETAIL 1 1/2" = 1'-0"

![](_page_21_Figure_2.jpeg)

8 PIECE COMPRESSION EDGE 3" = 1'-0"

WOOD NAILER -

NEW MEMBRANE ROOFING SYSTEM AS SPECIFIED -

NEW TAPERED INSULATION (1/4":12" MIN. SLOPE) OVER EXISTING DECK, REF NEW ROOF PLAN  $-\!-$ 

APPROVED

VAPOR BARRIER -EXISTING DECK TO REMAIN.

10 DRIP EDGE DETAIL 3" = 1'-0"

![](_page_21_Picture_10.jpeg)

MEMBRANE ROOF TO CLAY TILE 4 TRANSITION 1 1/2" = 1'-0"

![](_page_21_Figure_13.jpeg)

APPROVED VAPOR BARRIER EXISTING DECK TO REMAIN APPROVED SEALANT

NEW MEMBRANE ROOFING SYSTEM AS SPECIFIED

FIELD WELD APPROVED SEALANT (FACTORY-APPLIED) FACTORY WELD

APPROVED
SEALENT ( FIELD-APPLIED)

TACK WELD BETWEEN PLATES TO PREVENT BRIDGING NEW MEMBRANE ROOFING SYSTEM AS SPECIFIED COVER BOARD

NEW TAPERED INSULATION

APPROVED VAPOR BARRIER

EXISTING METAL DECK TO REMAIN, PATCH

REPAIR AS NEEDED, TYP

ROOF PLAN

TERMINATION BAR AND FASTENERS 16" O.C.

PARAPET FLASHING

PLATE/FASTENERS

CAULK SEALANT

2 CLAY TILE EDGE W/ GUTTER DETAIL 1 1/2" = 1'-0"

A3.0

![](_page_21_Picture_25.jpeg)

DRAWN BY: HM CHECKED BY: CG3 DATE: 10-16-19

**REVISION**:

![](_page_21_Picture_27.jpeg)

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![](_page_21_Picture_29.jpeg)

![](_page_21_Picture_30.jpeg)

![](_page_21_Picture_31.jpeg)

![](_page_21_Picture_32.jpeg)

![](_page_21_Picture_33.jpeg)

![](_page_21_Picture_34.jpeg)

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![](_page_22_Figure_0.jpeg)

2 HATCH ACCESS 6" = 1'-0"

![](_page_22_Figure_2.jpeg)

1 HATCH ACCESS PROFILE 1 1/2" = 1'-0"

![](_page_22_Picture_5.jpeg)

![](_page_22_Picture_6.jpeg)

A3.1